

PROTECTION AGAINST TERMITES IS TO BE PROVIDED IN ACCORDANCE WITH 2010 FBC-RESIDENTIAL, SECTION R310.

TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.

SLAB PLAN IS FOR DESIGN PURPOSES ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS.

NOTE:
ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DESIGN FIRM FOR REVIEW PRIOR TO CONSTRUCTION.

FOUNDATION TO BE ENGINEERED

SAMPLE PLAN

PROJECT

Job No: _____
 Date: _____

No.	Revisions
1	
2	
3	

Drawn: _____
 Checked: _____

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Of 19

SLAB PLAN
SCALE: 1/4" = 1'-0"

SAMPLE FOR CONSTRUCTION PLAN

DOOR LEGEND

	EXISTING DOOR TO REMAIN		NEW POCKET DOOR
	EXISTING DOOR TO BE REMOVED		NEW BY-PASS DOUBLE DOOR
	NEW DOOR		NEW SHOWER DOOR
	EXISTING DOUBLE DOOR TO BE REMOVED		EXISTING SLIDING GLASS DOOR TO BE REMOVED
	NEW DOUBLE DOOR		NEW SLIDING GLASS DOOR

WINDOW LEGEND

	EXISTING CASEMENT / FIXED WINDOW TO REMAIN
	EXISTING CASEMENT / FIXED WINDOW TO BE REMOVED
	NEW CASEMENT / FIXED GLASS WINDOW

WALL LEGEND

	EXISTING CMU WALL TO REMAIN
	NEW CMU WALL
	EXISTING INTERIOR PARTITION WALL TO REMAIN
	EXISTING EXTERIOR PARTITION WALL TO REMAIN
	NEW INTERIOR PARTITION WALL
	NEW INTERIOR PARTITION WALL TO BE REMOVED
	NEW SHOWER GLASS WALL
	NEW BEARING WALL

AREA SUMMARY

SQUARE FOOTAGE	
1ST FL. LIVING A/C	2,716 S.F.
2ND FL. LIVING A/C	1,734 S.F.
TOTAL A/C	4,450 S.F.
COVERED ENTRY 68 S.F.	
1ST FL. COVERED LANAI 595 S.F.	
2ND FL. COVERED BALCONIES 339 S.F.	
2ND FL. SUN DECK 464 S.F.	
GARAGES 687 S.F.	
MECH. 51 S.F.	
TOTAL NON-A/C	2,204 S.F.
GRAND TOTAL	6,654 S.F.

NOTE:
ALL WINDOWS AND DOORS TO BE BY BUILDER (SEE BUILDER FOR DETAILS)

ALL UNPROTECTED DR. & WINDOWS TO BE RATED & LABELED FOR MAX. REQUIRED WINDLOADS.

COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS & FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.

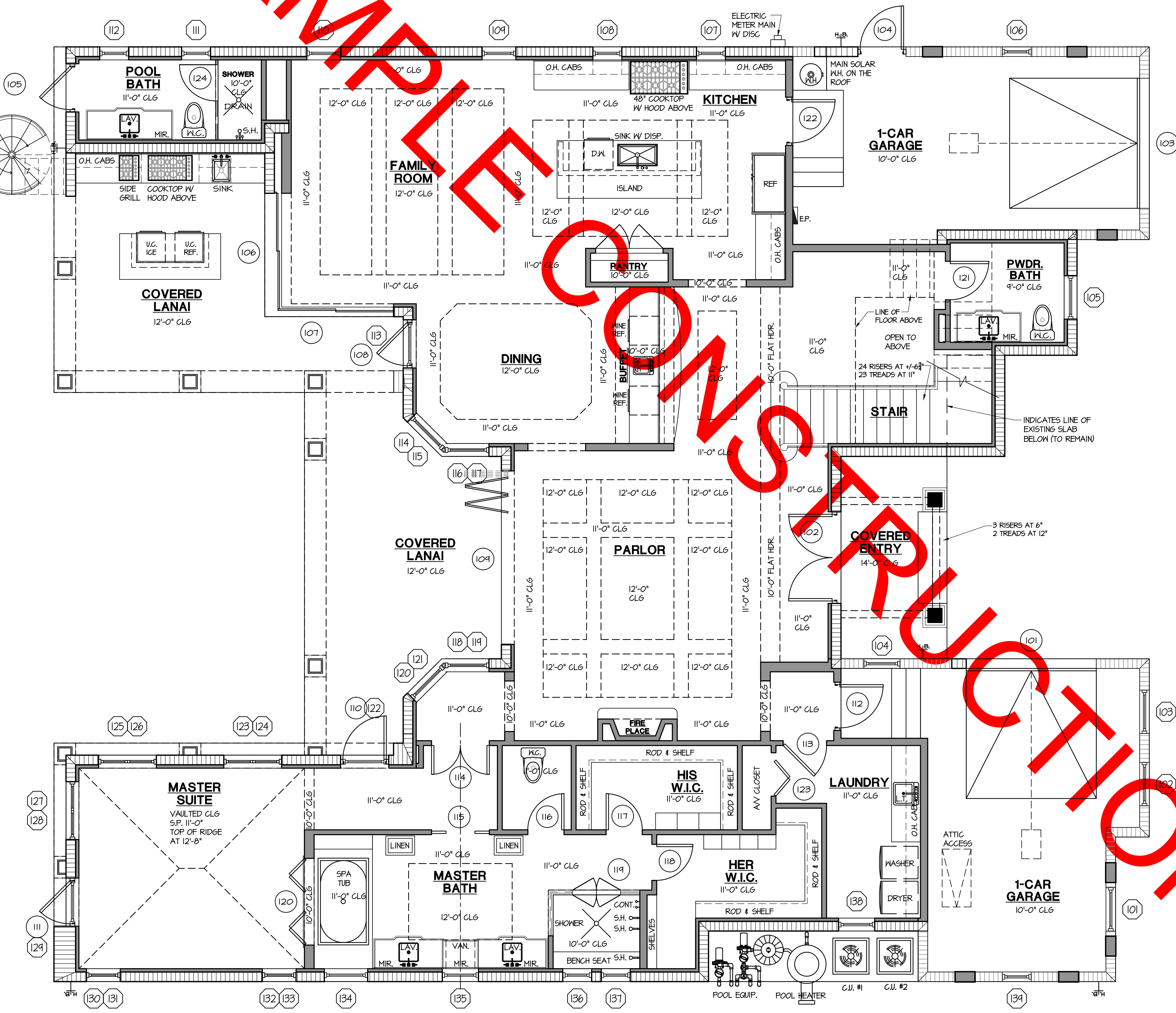
NOTE:
ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTIONS 515.21 - 515.37, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.

NOTE:
TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION

NOTE:
GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUM. SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT, AS DOCUMENTED IN FLORIDA STATUES SEC. 515.21 - 515.37

NOTE:
G.C. TO USE LEVEL-5 FINISH ON ALL DRYWALL AND GYPSUM SURFACES.

DO NOT SCALE DRAWINGS MANUALLY. DIMENSIONED DRAWINGS TAKE PRECEDENT OVER SCALED DRAWINGS. IF MEASUREMENTS ARE NOT PROVIDED THROUGH DIMENSIONS OR VERBAL DESCRIPTION, CONTRACTOR IS TO ASK FOR CLARIFICATION BY THE DESIGNER.



1st FLOOR NOTES PLAN
SCALE: 1/4" = 1'-0"

SAMPLE PLAN

PROJECT

Job No: _____ Date: _____

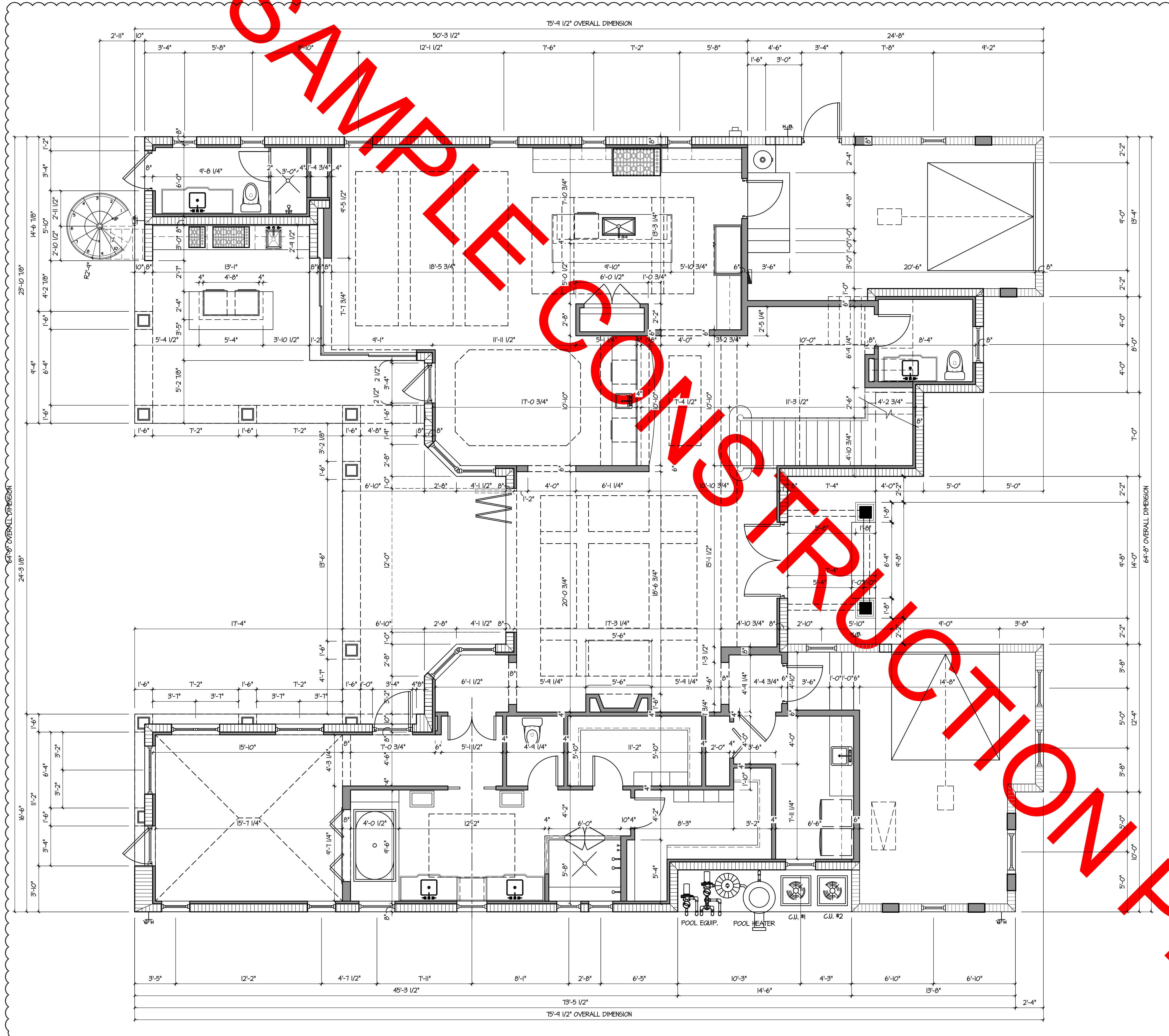
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2	2
3	3

Drawn: _____ Checked: _____

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Of 19



DOOR LEGEND			
	EXISTING DOOR TO REMAIN		NEW POCKET DOOR
	EXISTING DOOR TO BE REMOVED		NEW BY-PASS DOUBLE DOOR
	NEW DOOR		NEW SHOWER DOOR
	EXISTING DOUBLE DOOR TO BE REMOVED		EXISTING SLIDING GLASS DOOR TO BE REMOVED
	NEW DOUBLE DOOR		NEW SLIDING GLASS DOOR

WINDOW LEGEND	
	EXISTING CASEMENT / FIXED WINDOW TO REMAIN
	EXISTING CASEMENT / FIXED WINDOW TO BE REMOVED
	NEW CASEMENT / FIXED GLASS WINDOW

WALL LEGEND	
	EXISTING CMU WALL TO REMAIN
	NEW CMU WALL
	EXISTING INTERIOR PARTITION WALL TO REMAIN
	EXISTING EXTERIOR PARTITION WALL TO REMAIN
	NEW INTERIOR PARTITION WALL
	EXISTING WALL TO BE REMOVED
	NEW SHOWER GLASS WALL
	NEW BEARING WALL

1st FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

SAMPLE PLAN

PROJECT

Job No:	Date:	No. Revisions	Checked:
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		2	
		3	
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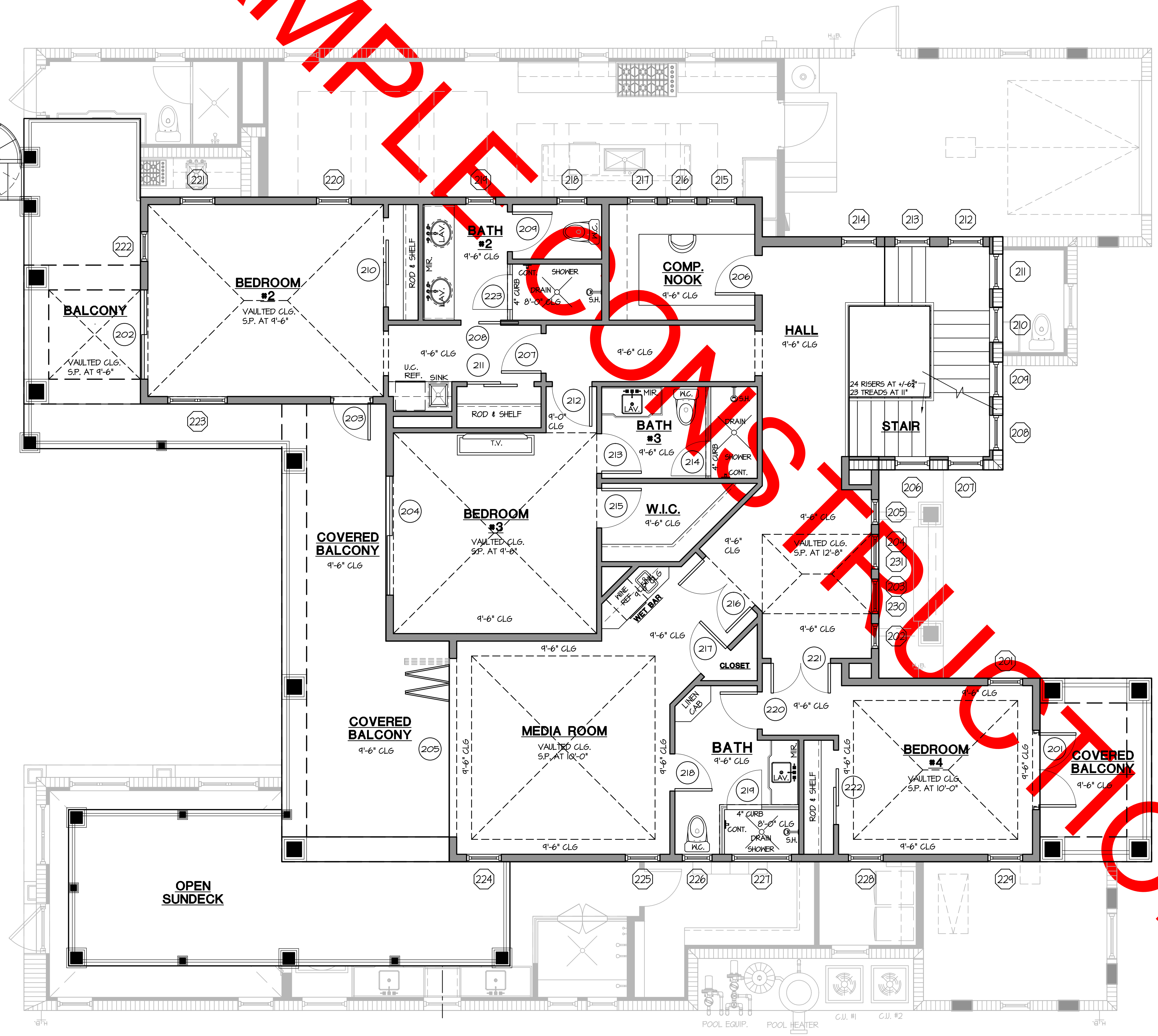
Of 19

SAMPLE

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

36" HIGH RAILING (TYP.)
 SPIRAL STAIRS
 5'-6" DIA.
 23 RISERS AT 1/4"
 22 TREADS AT 11"



DOOR LEGEND			
	EXISTING DOOR TO REMAIN		NEW POCKET DOOR
	EXISTING DOOR TO BE REMOVED		NEW BY-PASS DOUBLE DOOR
	NEW DOOR		NEW SHOWER DOOR
	EXISTING DOUBLE DOOR TO BE REMOVED		EXISTING SLIDING GLASS DOOR TO BE REMOVED
	NEW DOUBLE DOOR		NEW SLIDING GLASS DOOR

WINDOW LEGEND	
	EXISTING CASEMENT / FIXED WINDOW TO REMAIN
	EXISTING CASEMENT / FIXED WINDOW TO BE REMOVED
	NEW CASEMENT / FIXED GLASS WINDOW

WALL LEGEND	
	EXISTING CMU WALL TO REMAIN
	NEW CMU WALL
	EXISTING INTERIOR PARTITION WALL TO REMAIN
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NOTE:
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 ALL UNPROTECTED DR. & WINDOWS TO BE RATED & LABELED FOR MAX. REQUIRED WINDLOADS.
 COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS & FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.

DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR.
 GARAGE TO RESIDENCE SEPARATION IS TO BE PROVIDED IN ACCORDANCE WITH 2010 FLORIDA BUILDING CODE -RESIDENTIAL, SECTION R304.

NOTE:
 G.C. TO USE LEVEL-5 FINISH ON ALL DRYWALL AND GYPSUM SURFACES.

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SAMPLE PLAN

PROJECT

Job No: _____ Date: _____

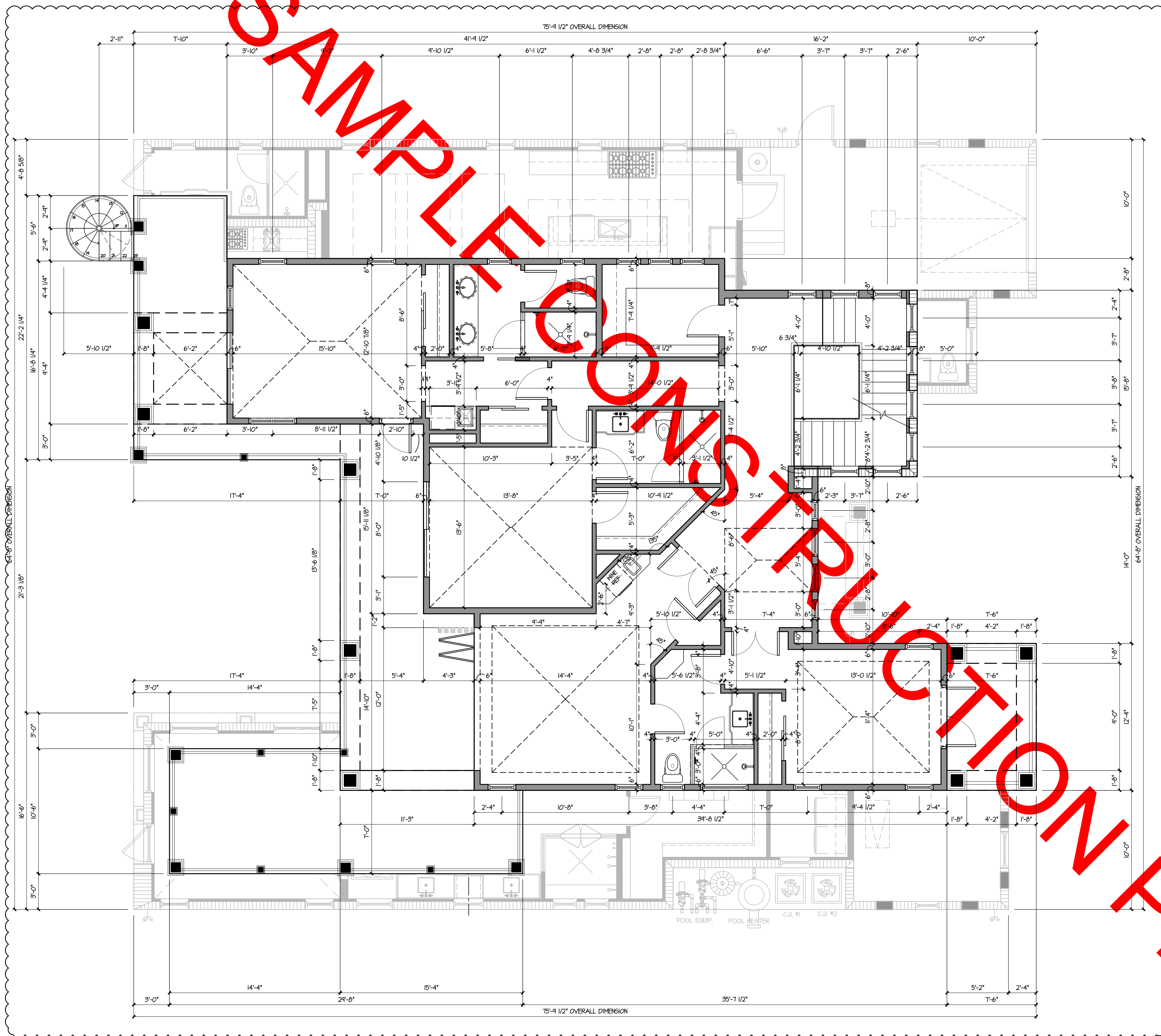
No.	Revisions
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Of 19

2nd FLOOR NOTES PLAN
 SCALE: 1/4" = 1'-0"



DOOR LEGEND			
	EXISTING DOOR TO REMAIN		NEW POCKET DOOR
	EXISTING DOOR TO BE REMOVED		NEW BY-PASS DOUBLE DOOR
	NEW DOOR		NEW SHOWER DOOR
	EXISTING DOUBLE DOOR TO BE REMOVED		EXISTING SLIDING GLASS DOOR TO BE REMOVED
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	EXISTING CASEMENT / FIXED WINDOW TO REMAIN
	EXISTING CASEMENT / FIXED WINDOW TO BE REMOVED
	NEW CASEMENT / FIXED GLASS WINDOW

WALL LEGEND	
	EXISTING CMU WALL TO REMAIN
	NEW CMU WALL
	EXISTING INTERIOR PARTITION WALL TO REMAIN
	EXISTING EXTERIOR PARTITION WALL TO REMAIN
	NEW INTERIOR PARTITION WALL
	EXISTING WALL TO BE REMOVED
	NEW SHOWER GLASS WALL
	NEW BEARING WALL

SAMPLE PLAN

PROJECT

Job No: _____ Date: _____

No. Revisions: 1, 2, 3

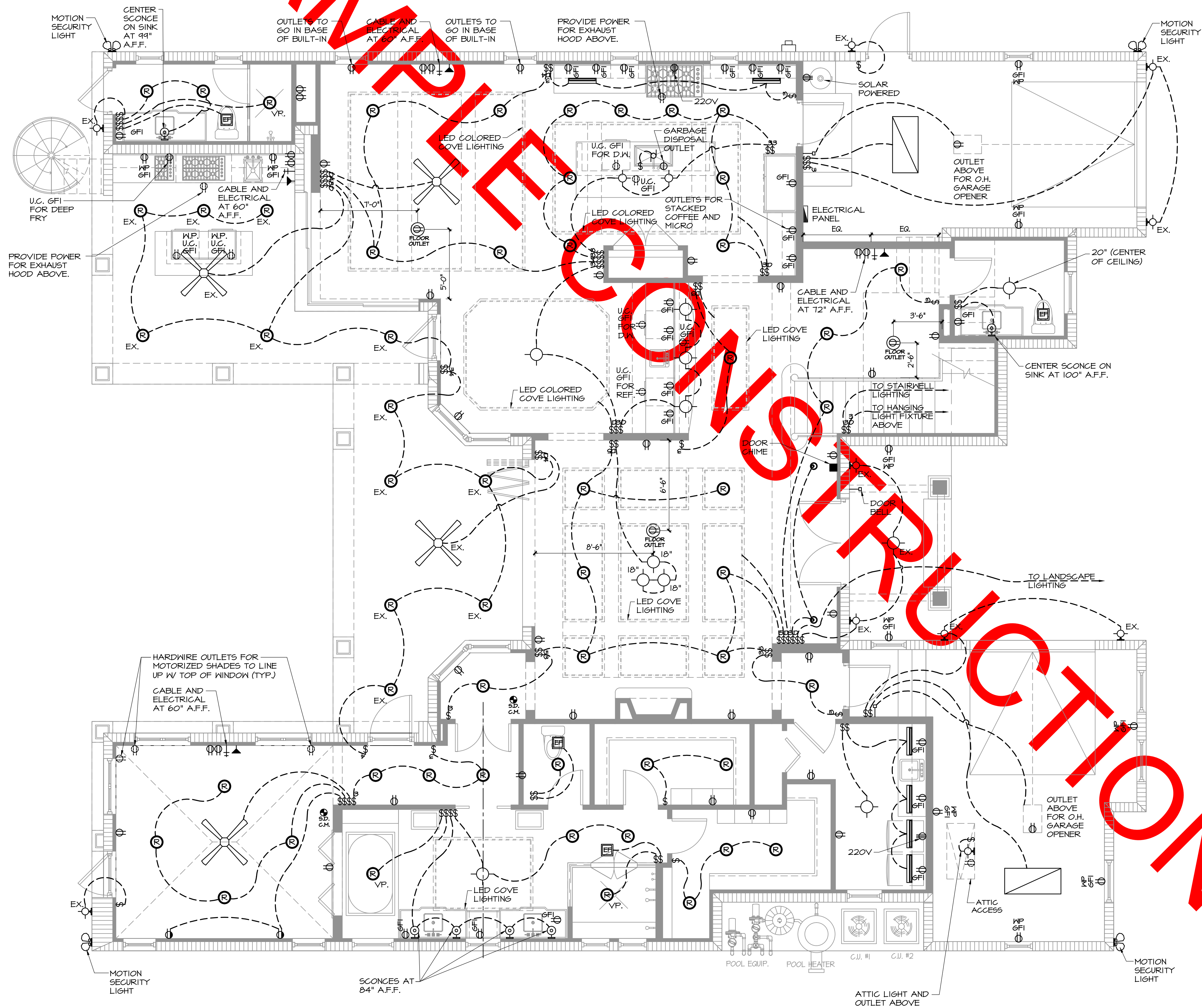
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2nd FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

SAMPLE
FOR
CONSTRUCTION



ELECTRICAL LEGEND

	CEILING FAN
	CEILING FAN W/ LIGHT
	24" X 48" FLOOR FIX.
	12" X 48" FLOOR FIXTURE
	FLOOR STRIP
	UNDERCOUNTER LIGHT
	BASE CABINET FOOT LIGHTING
	TRACK LIGHT
	BAR/SCIENCE LIGHTING
	ROPE LIGHTING
	H-99 RECESS
	EYE BALL RECESSED
	RECESS LIGHTING
	MALIBU LIGHT
	HANGING LIGHT FIXTURE
	WALL SCONCE LIGHTING
	WALL MOUNT LIGHTING
	SPOT LIGHTS
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN
	CEILING MOUNTED LIGHT
	TYP. SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SINGLE I/O OUTLET
	UNDER COUNTER I/O OUTLET
	I/O OUTLET
	HALF HOT DUPLEX I/O OUTLET
	220 OUTLET
	I/O G.F.I.
	I/O G.F.I. W.P. OUTLET
	A/C DISCONNECT
	PUSH BUTTON
	CABLE T.V.
	PHONE
	SMOKE DETECTOR
	DOOR CHIME
	JESCO - FK 611 LED-ADJUSTABLE 3-LIGHT ROUND SLIM DISK

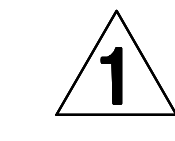
ELECTRICAL NOTES

- NOTE:** ALL ELECTRICAL DEVICES AND FIXTURES IN ALL SLEEPING QUARTERS TO BE PROTECTED WITH A.F.I. BREAKER.
- PREWIRE FOR SECURITY SYSTEM AND INTERCOM SYSTEM.
 - INSTALL RG-6 COAXIAL CABLE AND CAT-6 TWISTED PAIR WIRE THROUGHOUT THE ENTIRE HOUSE. (SEE BUILDER FOR DETAILS)
 - SEE SMOKE DETECTOR AND POOL ALARM NOTES BELOW.
 - ALL ELECTRICAL SHALL BE IN ACCORDANCE TO MEET OR EXCEED -NEC 2008-
- SMOKE DETECTOR'S POWERED BY HOUSE ELECTRIC W/ BATTERY BACKUP & INTERCONNECTED. INSTALLED IN EACH SLEEPING ROOM & IN HALL OR AREA IMMEDIATELY OUTSIDE EACH ROOM & AT HIGHEST POINT OF EACH STORY OF RESIDENCE.
- NOTE:** ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTIONS 515.21 - 515.31, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.
- NOTE:** ALL ELECTRICAL DEVICES AND FIXTURES IN GARAGES AND COVERED LANAI TO BE ABOVE BASE FLOOD ELEV.
- NOTE:** ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL FOR ELEVATOR AND EQUIPMENT THE ELEVATOR IS TO BE EQUIPPED WITH A FLOOR SWITCH TO RETURN TO ABOVE B.F.E. IN THE EVENT OF FLOODING PER FEMA TECHNICAL BULLETIN 443

SAMPLE
PLAN
PROJECT

Job No:	
Date:	
No. Revisions	1 2 3
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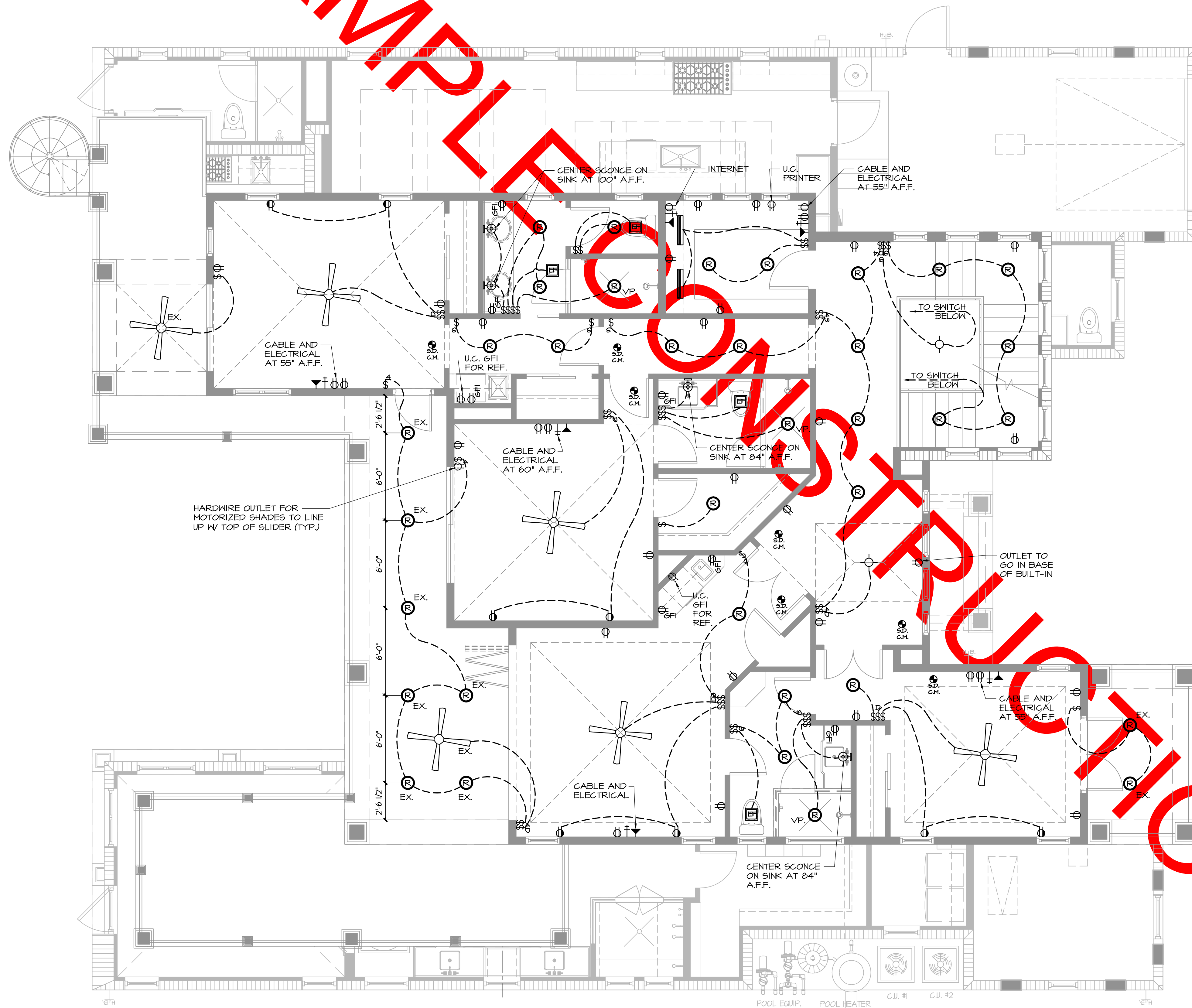
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1st FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SAMPLE

NOT FOR CONSTRUCTION



ELECTRICAL LEGEND

	CEILING FAN
	CEILING FAN W/ LIGHT
	FLOOR STRIP
	UNDERCOUNTER LIGHT
	BASE CABINET FOOT LIGHTING
	TRACK LIGHT
	BAR/SCONC LIGHTING
	ROPE LIGHTING
	H-99 RECESS
	EYE BALL RECESSED
	RECESS LIGHTING
	MALIBU LIGHT
	HANGING LIGHT FIXTURE
	WALL SCONCE LIGHTING
	WALL MOUNT LIGHTING
	SPOT LIGHTS
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN
	CEILING MOUNTED LIGHT
	TYP. SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SINGLE I/O OUTLET
	UNDER COUNTER I/O OUTLET
	I/O OUTLET
	HALF HOT DUPLEX I/O OUTLET
	220 OUTLET
	I/O G.F.I.
	I/O G.F.I. W.P. OUTLET
	A/C DISCONNECT
	PUSH BUTTON
	CABLE T.V.
	PHONE
	SMOKE DETECTOR
	DOOR CHIME
	JESCO - FK 611 LED-ADJUSTABLE 3-LIGHT ROUND SLIM DISK

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2nd FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

SAMPLE PLAN

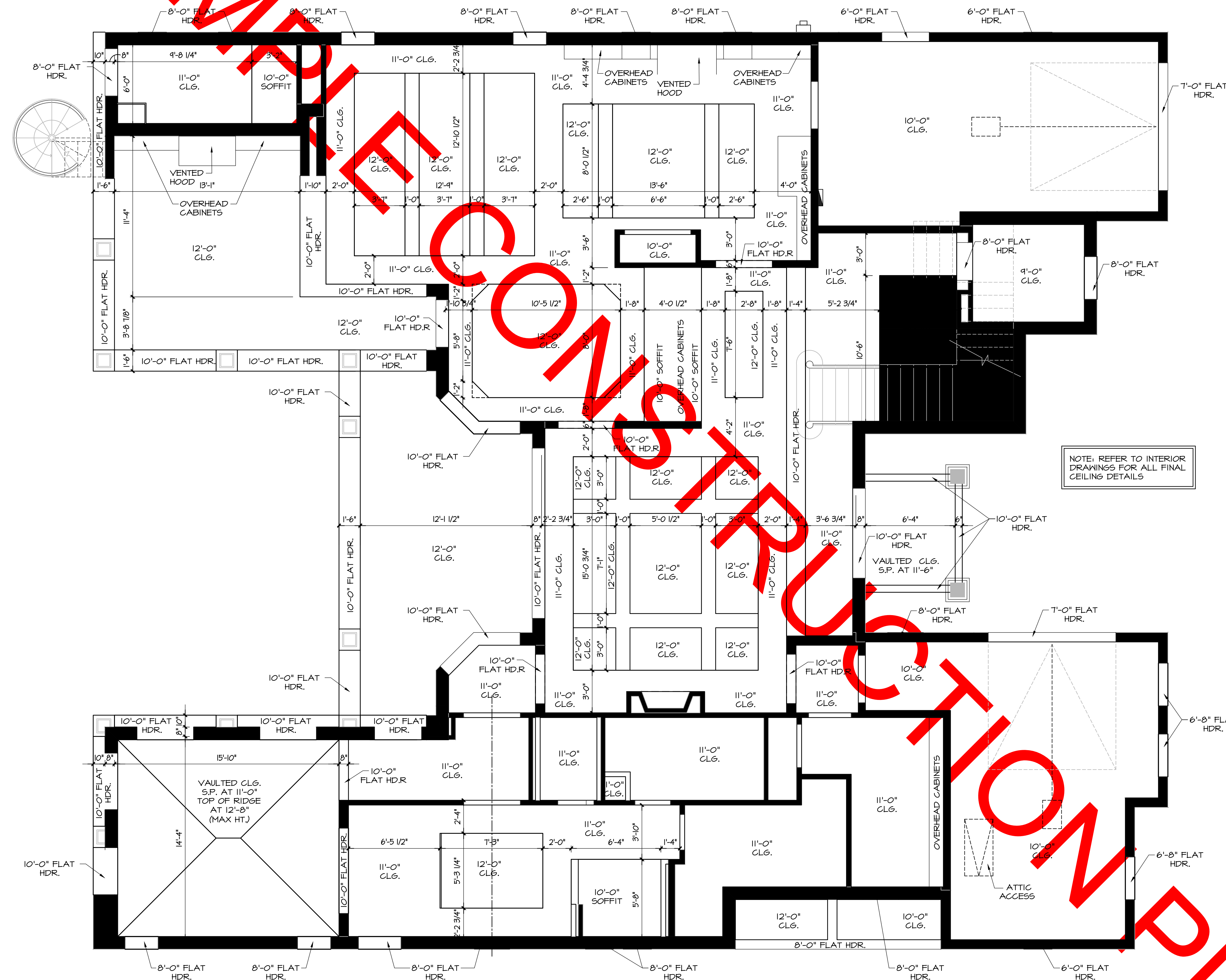
PROJECT

Job No: _____ Date: _____

No. Revisions
1
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NOTE: REFER TO INTERIOR DRAWINGS FOR ALL FINAL CEILING DETAILS

SAMPLE PLAN

SAMPLE
PLAN

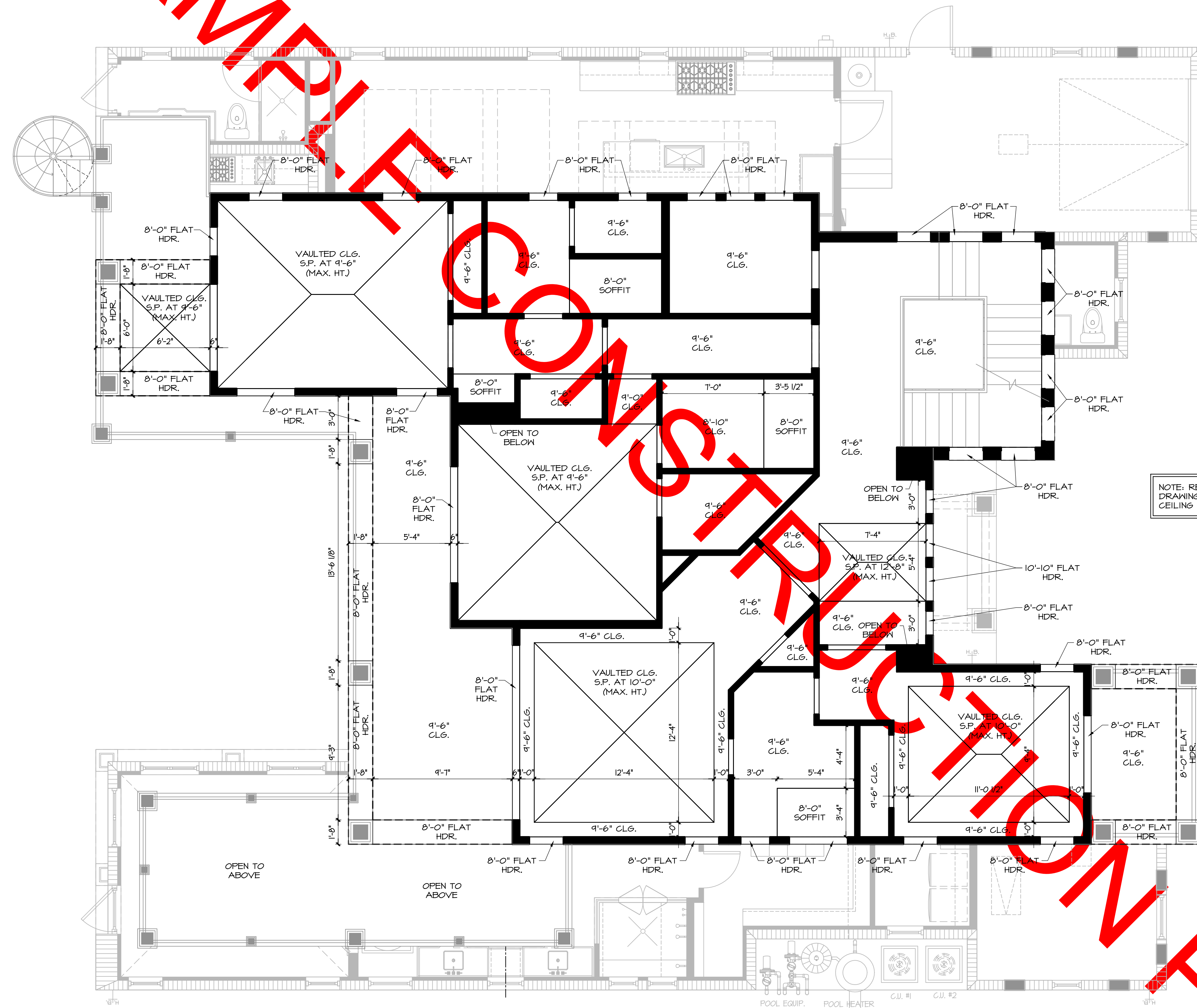
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FIRST FLOOR CEILING PLAN
SCALE: 1/4" = 1'-0"

SAMPLE PLAN



NOTE: REFER TO INTERIOR DRAWINGS FOR ALL FINAL CEILING DETAILS

SECOND FLOOR CEILING PLAN

SCALE: 1/4" = 1'-0"

SAMPLE PLAN PROJECT

Job No:	
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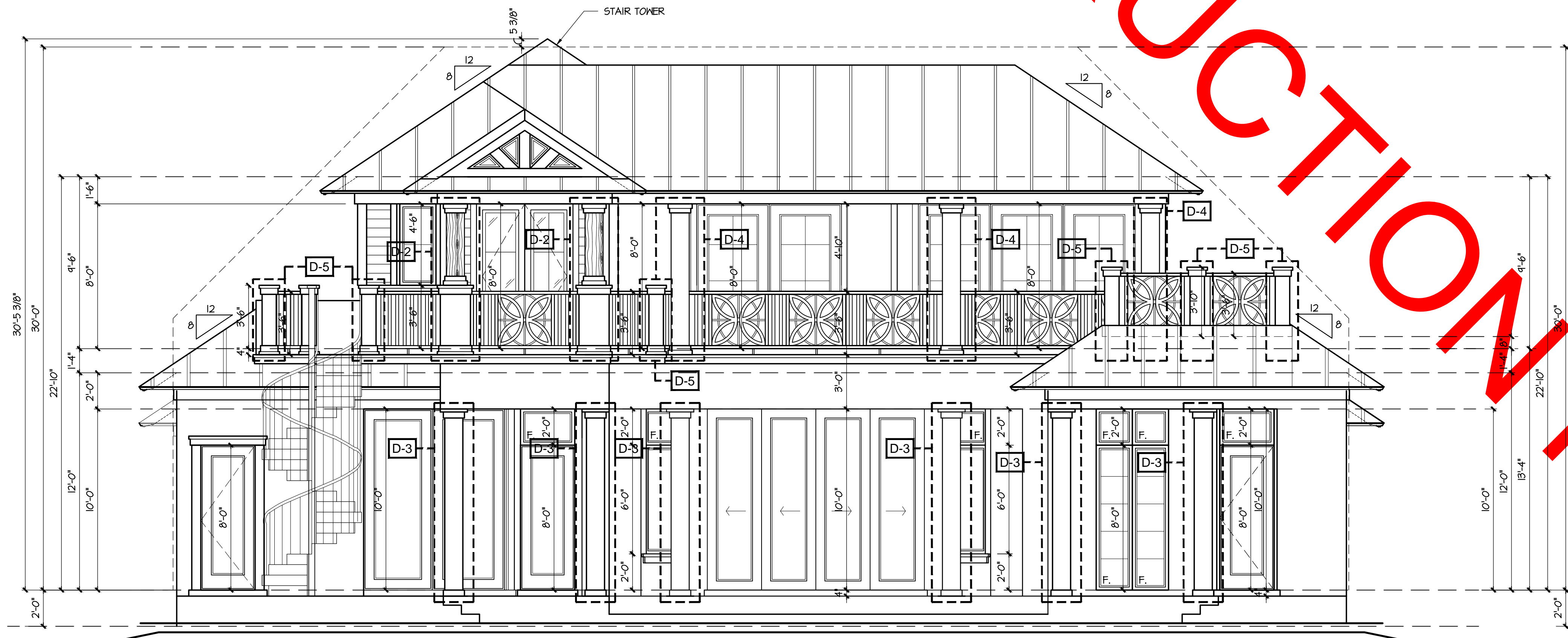
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

SAMPLE
PLAN

PROJECT

Job No:

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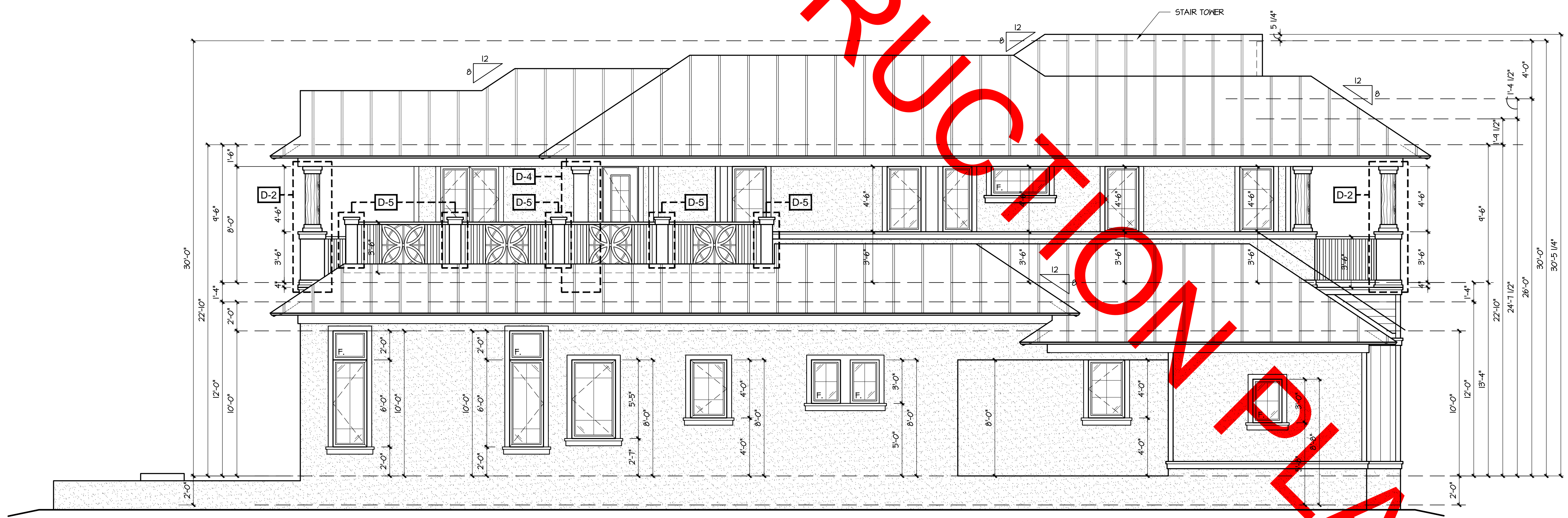
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

1

SAMPLE
PLAN

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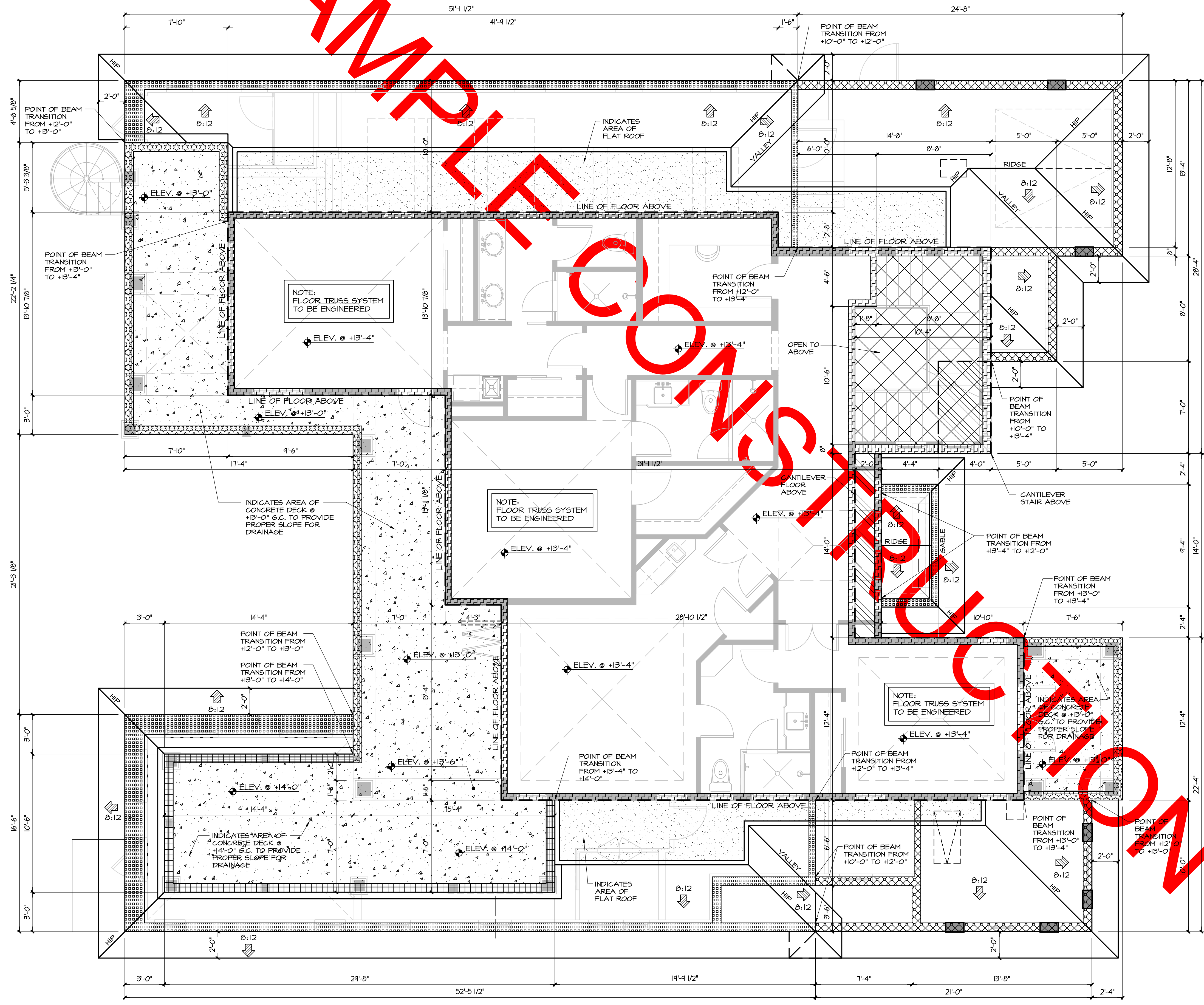
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SAMPLE PLAN



**BEARING HEIGHTS
LEGEND**

- BEARING +10'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +12'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +13'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +13'-4" FROM 1ST. LIV. FIN. FL.
- BEARING +14'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +22'-10" FROM 1ST. LIV. FIN. FL.
- BEARING +24'-7 1/2" FROM 1ST. LIV. FIN. FL.
- BEARING +26'-0" FROM 1ST. LIV. FIN. FL.

ROOF NOTES

- 1) PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C.
- 2) TYPICAL 8:12 PITCH UNLESS NOTED OTHERWISE. (SEE MFG. TRUSS PLANS).
- 3) 2'-0" RAKED ROOF OVERHANGS AT MAIN RESIDENCE (TYP.) TO MATCH EXISTING UNLESS NOTED OTHERWISE. (REFER TO WALL SECTION).
- 4) TRUSS MANUFACTURER TO SUBMIT ENGINEERED TRUSS DRAWINGS FOR APPROVAL.
- 5) COORDINATION OF CONSTRUCTION INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.
- 6) PROVIDE ATTIC VENTILATION AS REQUIRED BY 2010 FLORIDA BUILDING CODE.
- 7) ROOF PLAN FOR DESIGN PURPOSES ONLY. TRUSS MANUFACTURER TO SUBMIT ENGINEERED TRUSS DRAWINGS FOR APPROVAL.
- 8) ALL BEARINGS TAKEN FROM EXISTING FIN. FLR. EL. 0'-0"

- | | |
|------------------------------|--|
| INDICATES AREA OPEN TO ABOVE | INDICATES AREA OF CANTILEVER |
| INDICATES AREA OF CRICKET | INDICATES AREA OF CONCRETE DECK, G.C. TO PROVIDE PROPER SLOPE FOR DRAINAGE |
| INDICATES AREA OF FLAT ROOF | |

LOWER ROOF PLAN
SCALE: 1/4" = 1'-0"

SAMPLE PLAN

PROJECT

Job No: _____ Date: _____

No. Revisions: _____

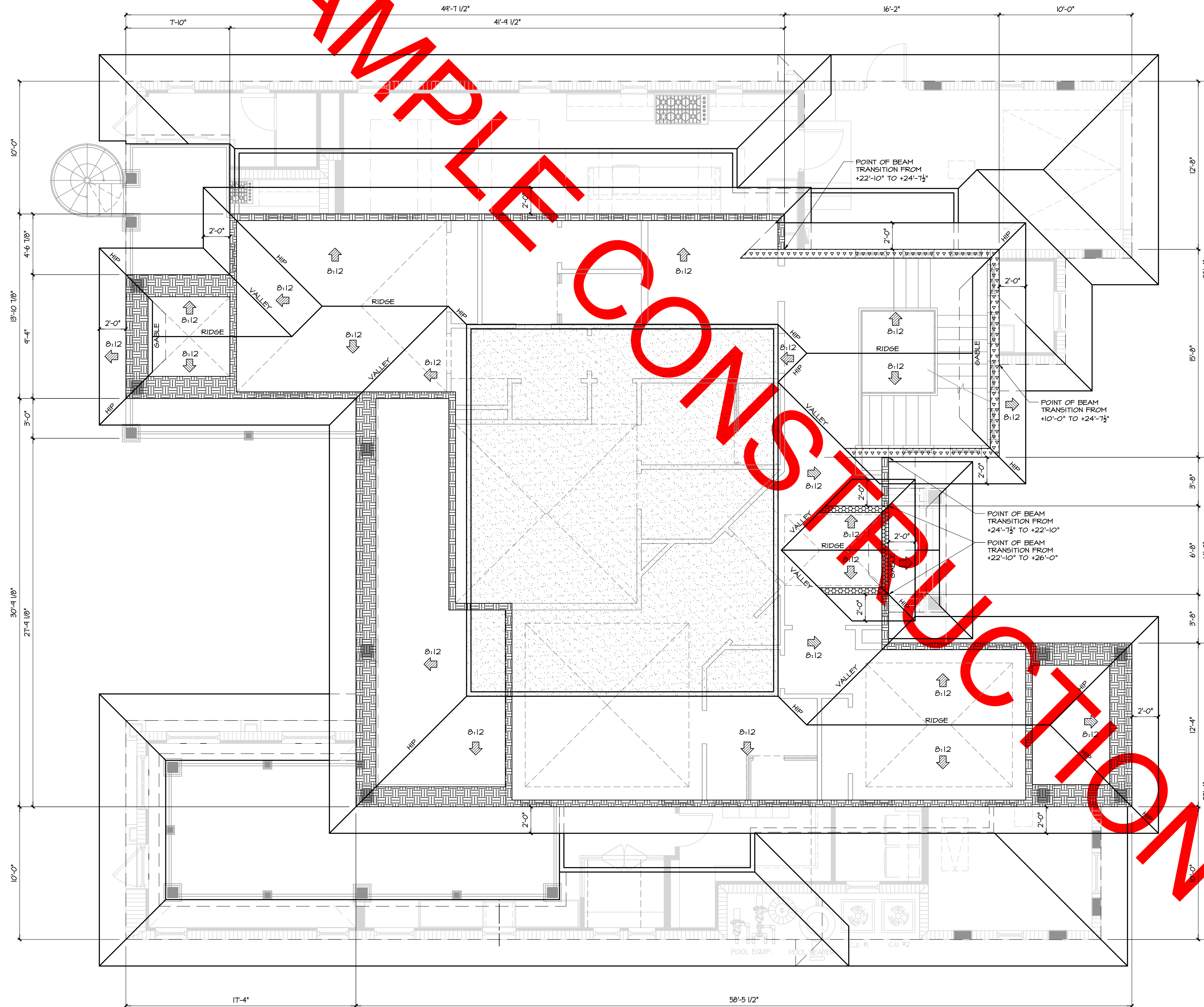
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SAMPLE
CONSULTATION
PLAN



**BEARING HEIGHTS
LEGEND**

- BEARING +10'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +12'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +13'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +13'-4" FROM 1ST. LIV. FIN. FL.
- BEARING +14'-0" FROM 1ST. LIV. FIN. FL.
- BEARING +22'-10" FROM 1ST. LIV. FIN. FL.
- BEARING +24'-7 1/2" FROM 1ST. LIV. FIN. FL.
- BEARING +26'-0" FROM 1ST. LIV. FIN. FL.

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- 8) ALL BEARINGS TAKEN FROM EXISTING FIN. FLR. EL. 0'-0"

- INDICATES AREA OPEN TO ABOVE
- INDICATES AREA OF CANTILEVER
- INDICATES AREA OF CRICKET
- INDICATES AREA OF CONCRETE DECK, E.G. TO PROVIDE PROPER SLOPE FOR DRAINAGE
- INDICATES AREA OF FLAT ROOF

UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"

SAMPLE
PLAN

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Job No: _____

Date: _____

No. Revisions: _____

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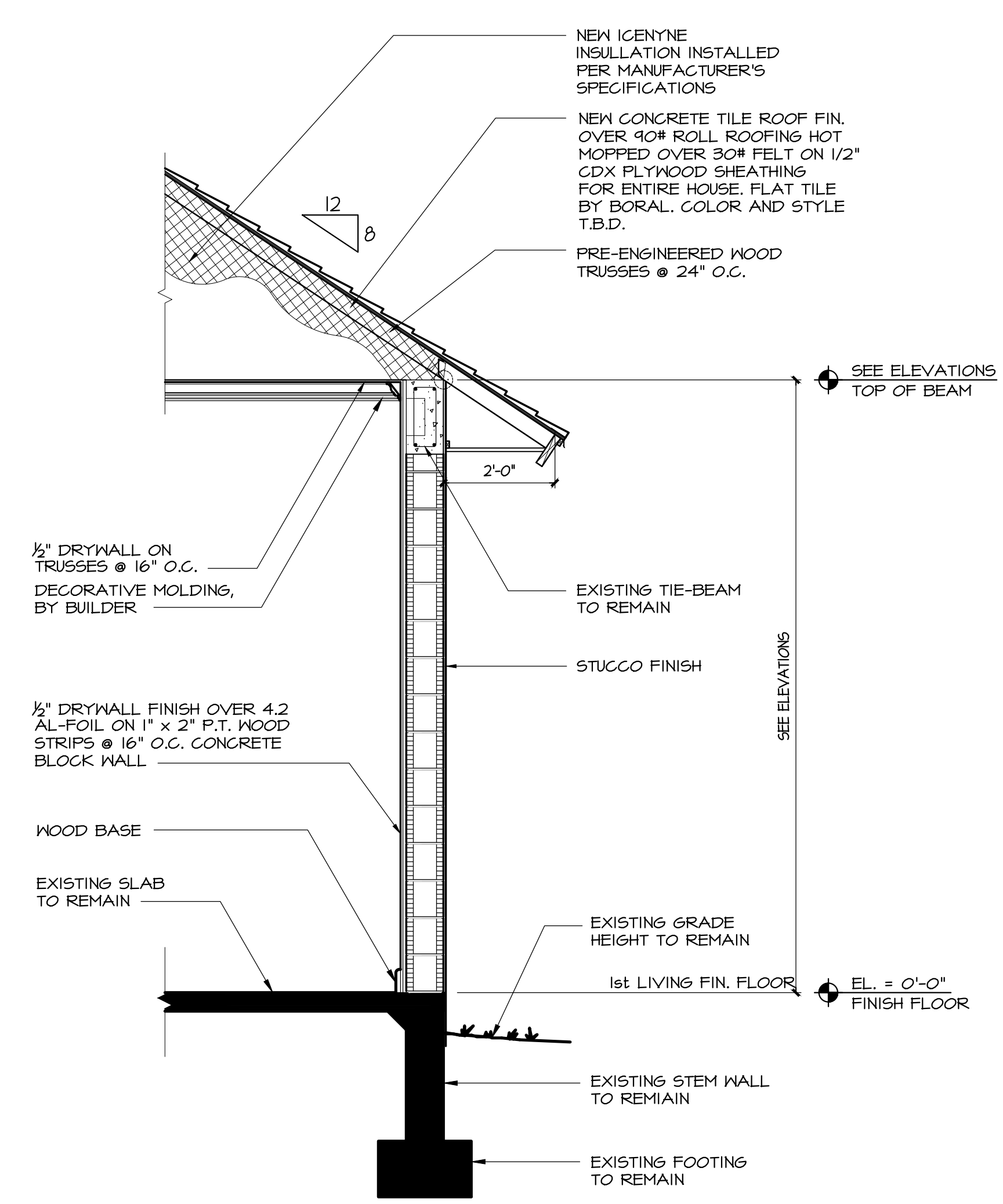
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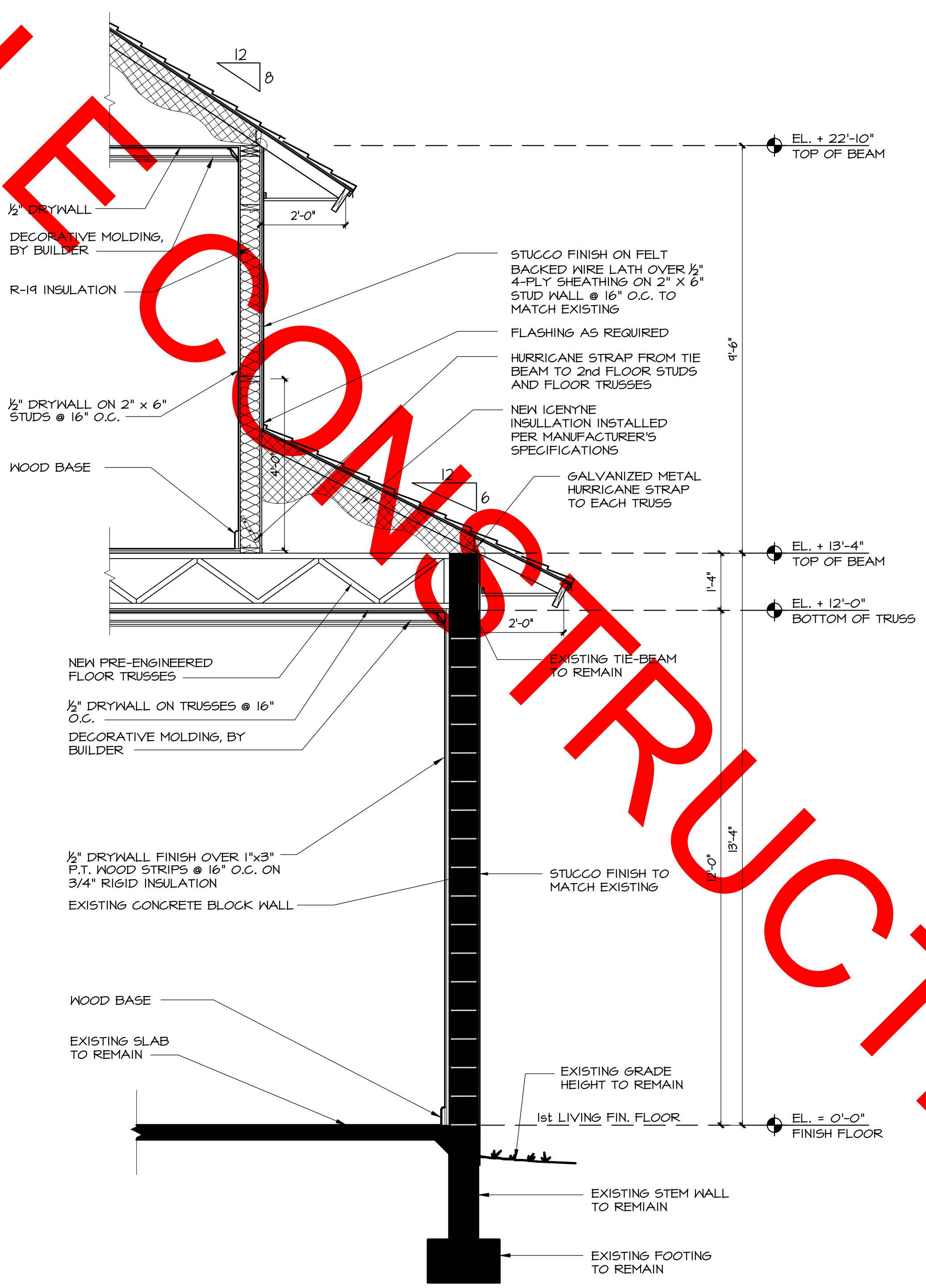
SAMPLE
COMMON
DRAWING
PLAN

SAMPLE
PLAN

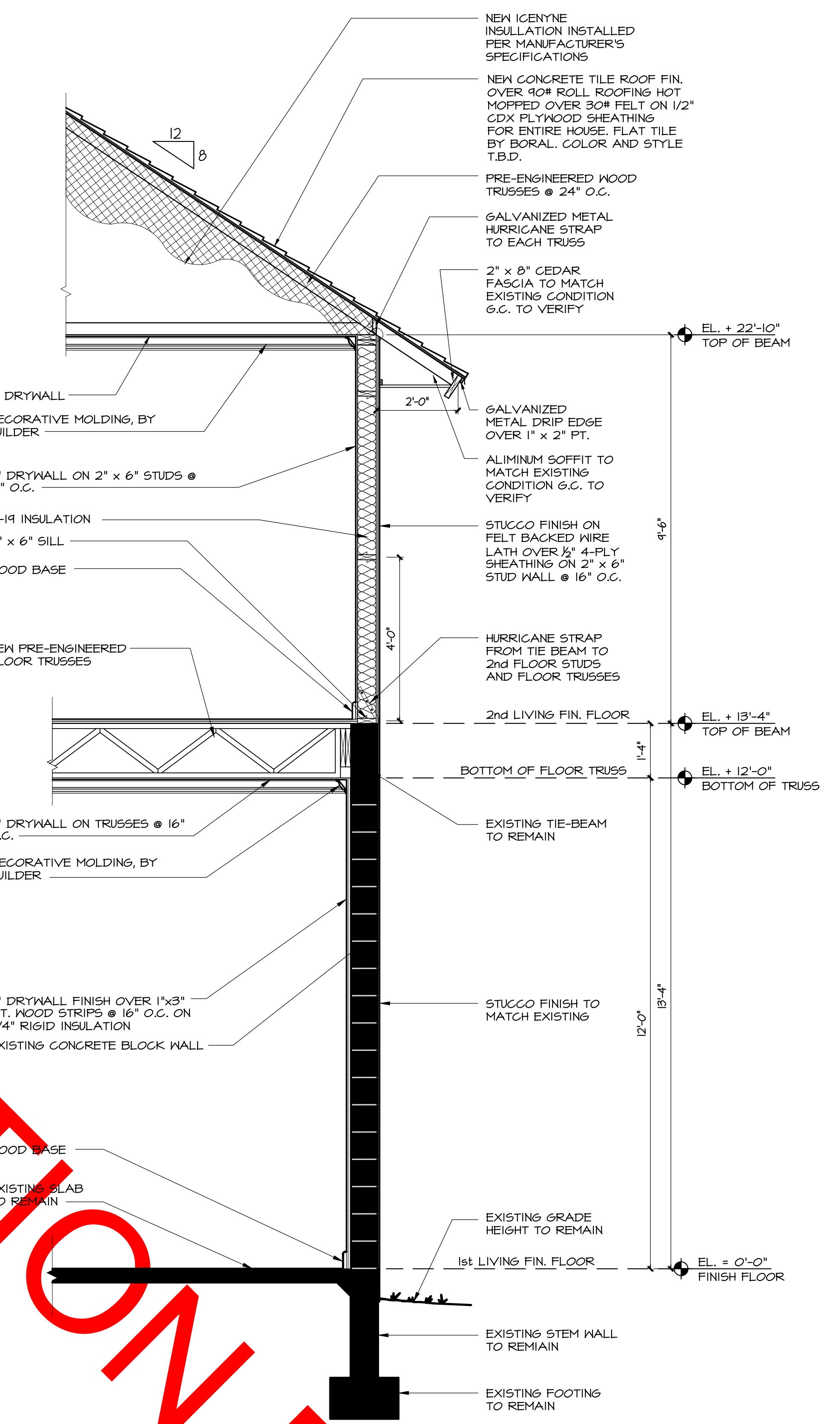
PROJECT



3 TYP. 1 STORY WALL SECTION
SCALE: 1/2" = 1'-0"



2 TYP. 2 STORY WALL SECTION
SCALE: 1/2" = 1'-0"



1 TYP. 2 STORY WALL SECTION
SCALE: 1/2" = 1'-0"

Job No: _____ Date: _____

No.	Revisions
1	
2	
3	

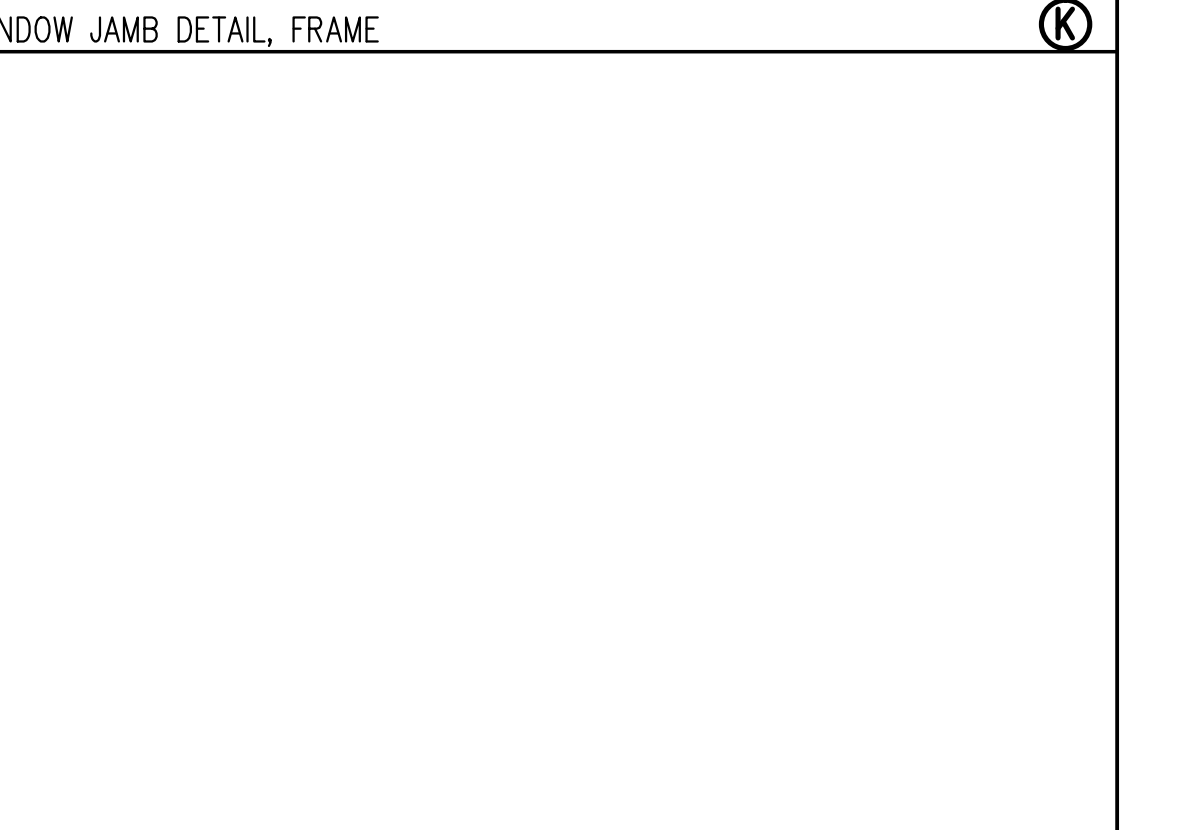
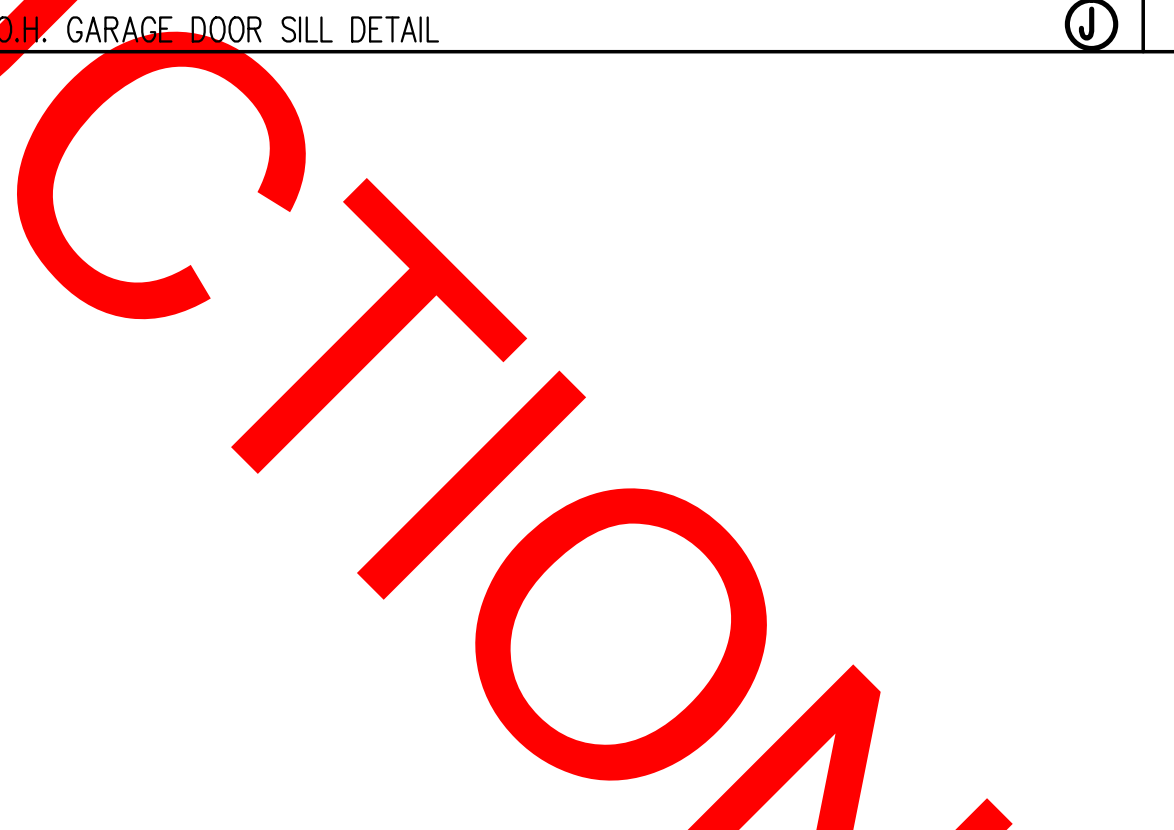
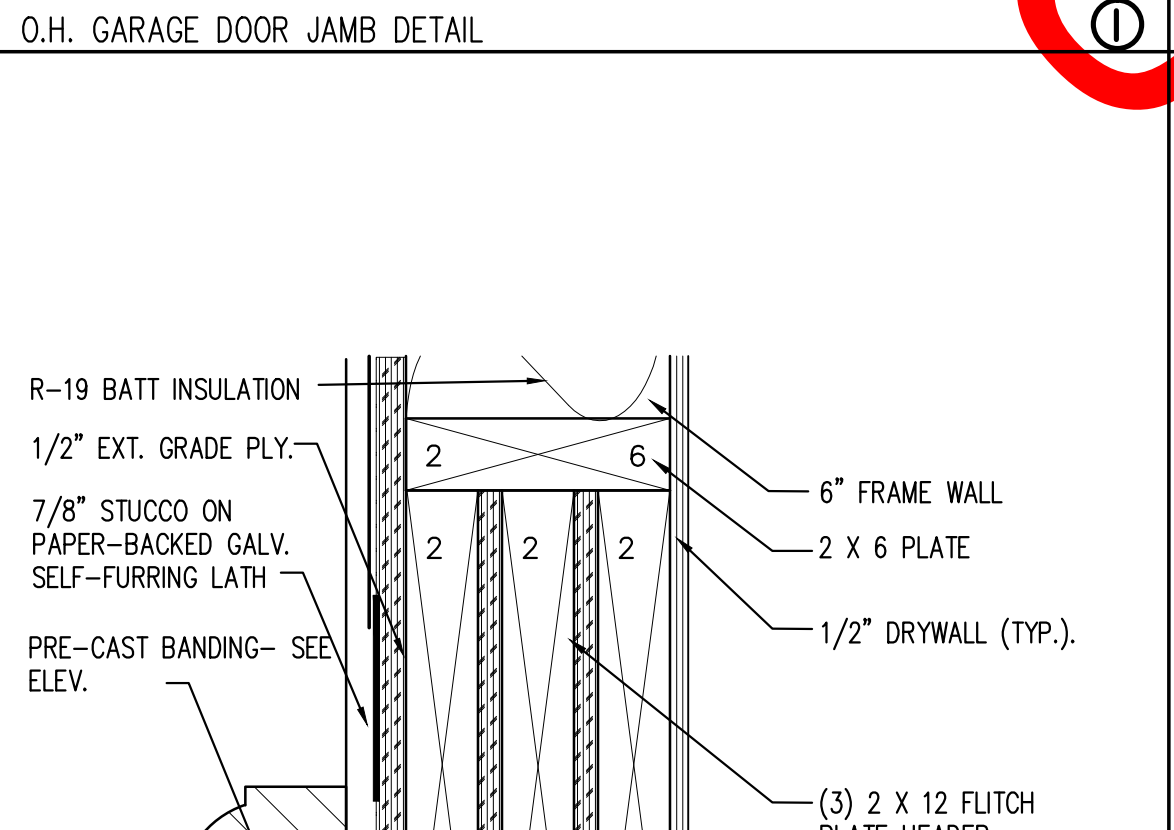
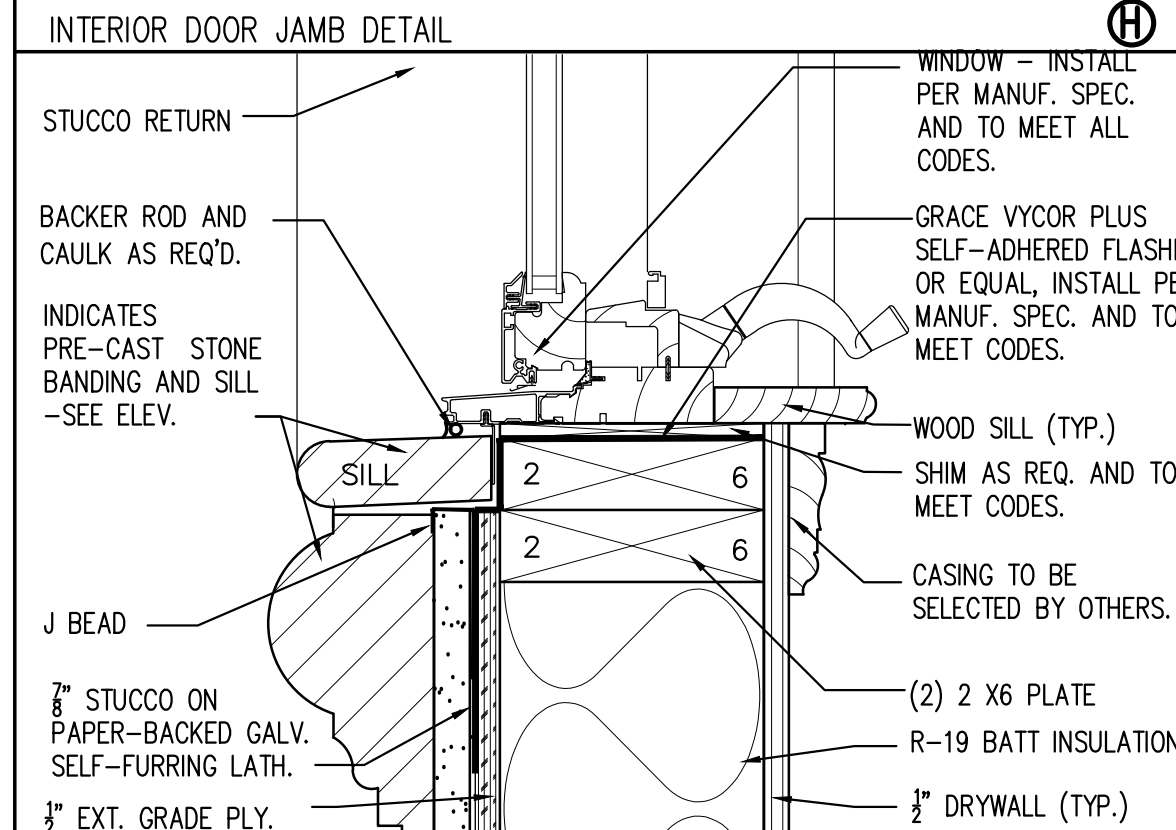
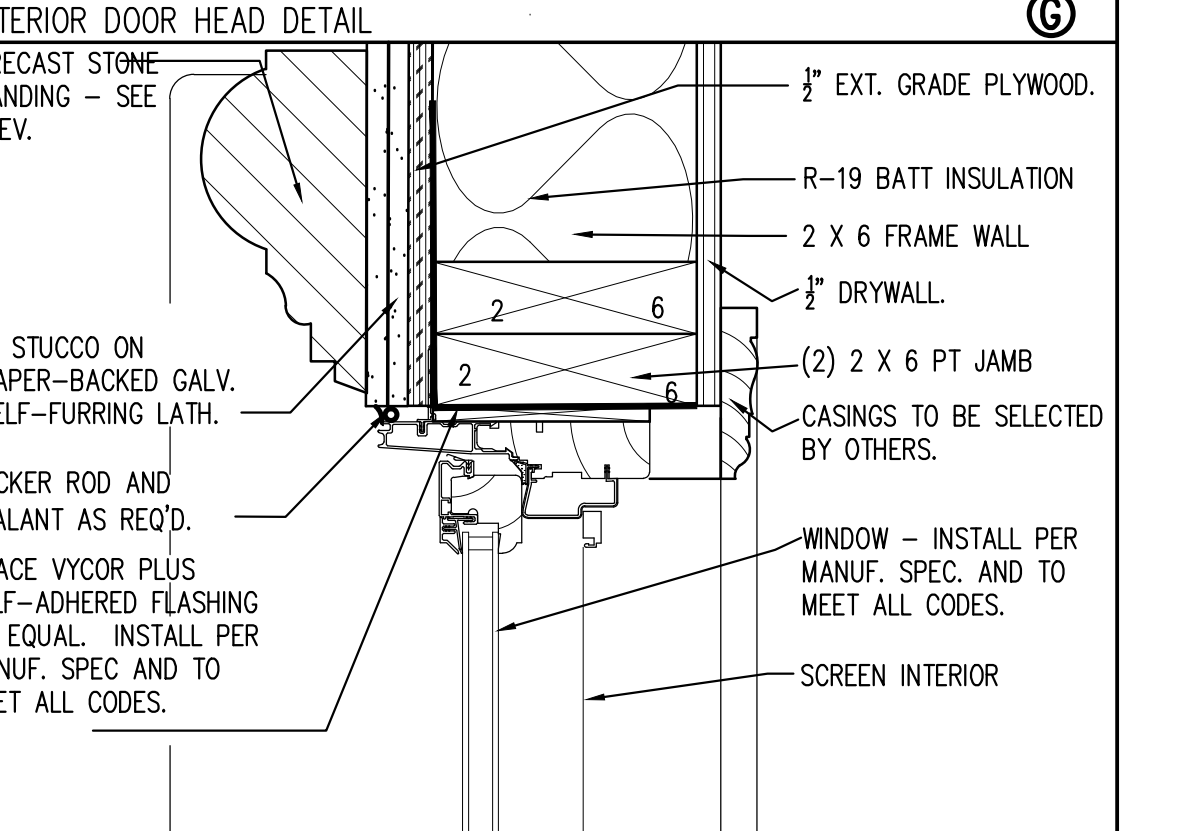
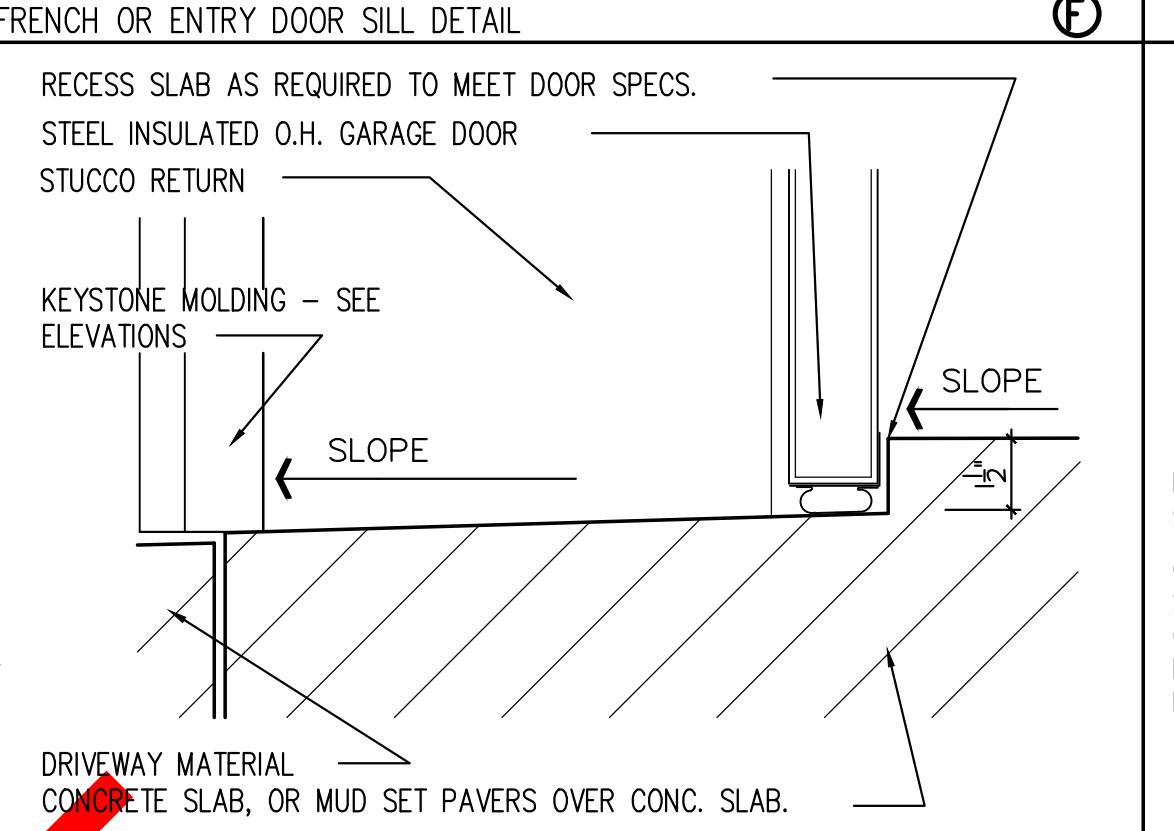
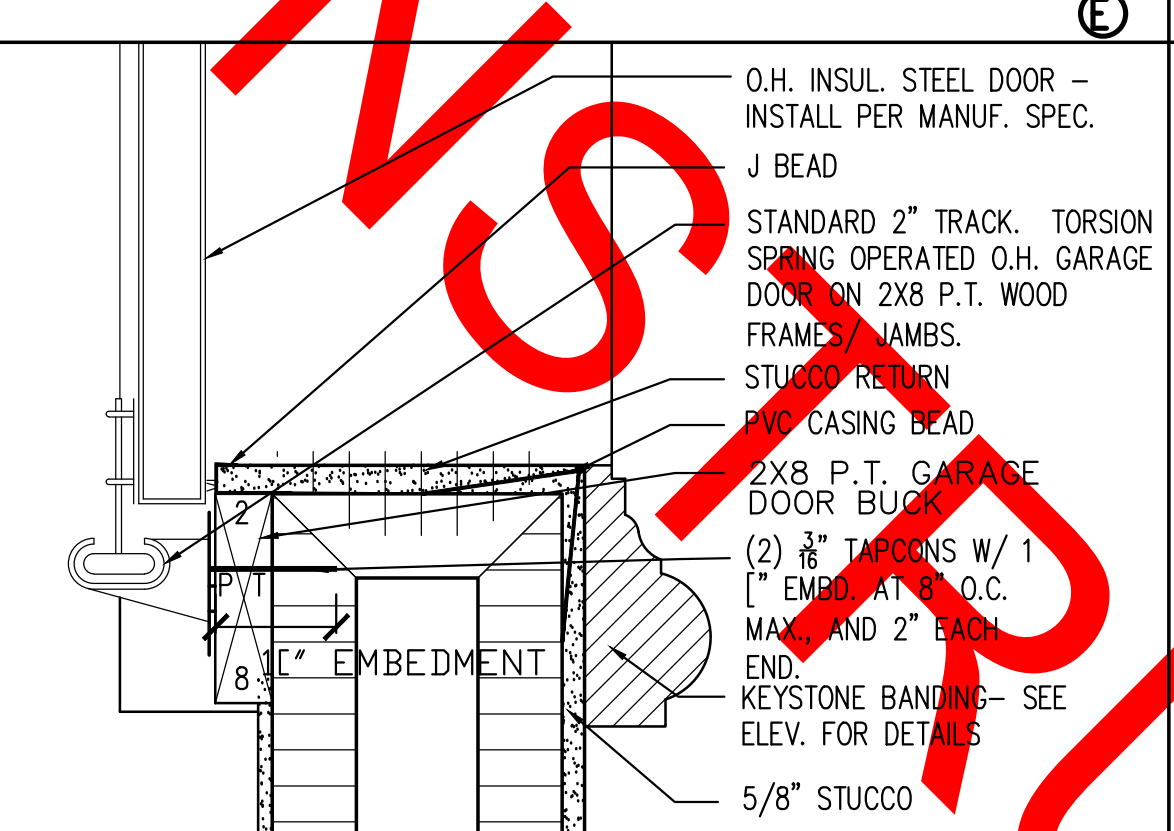
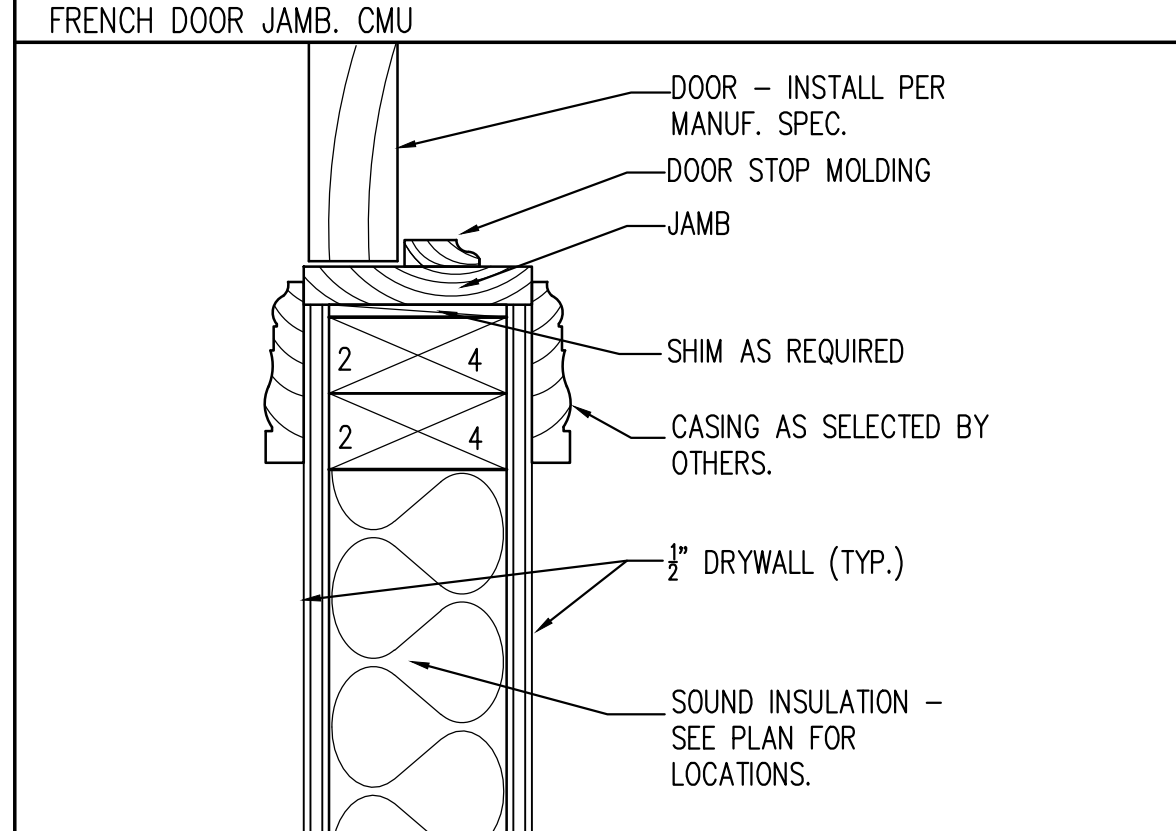
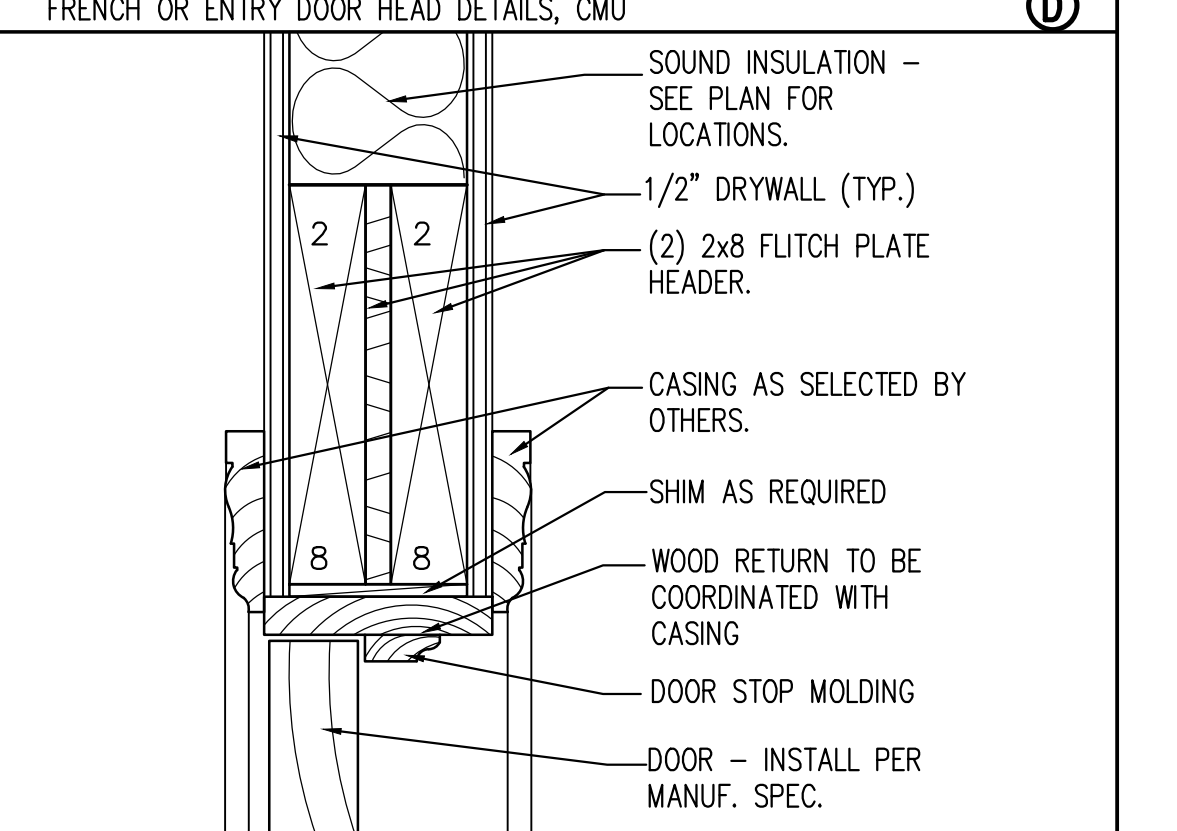
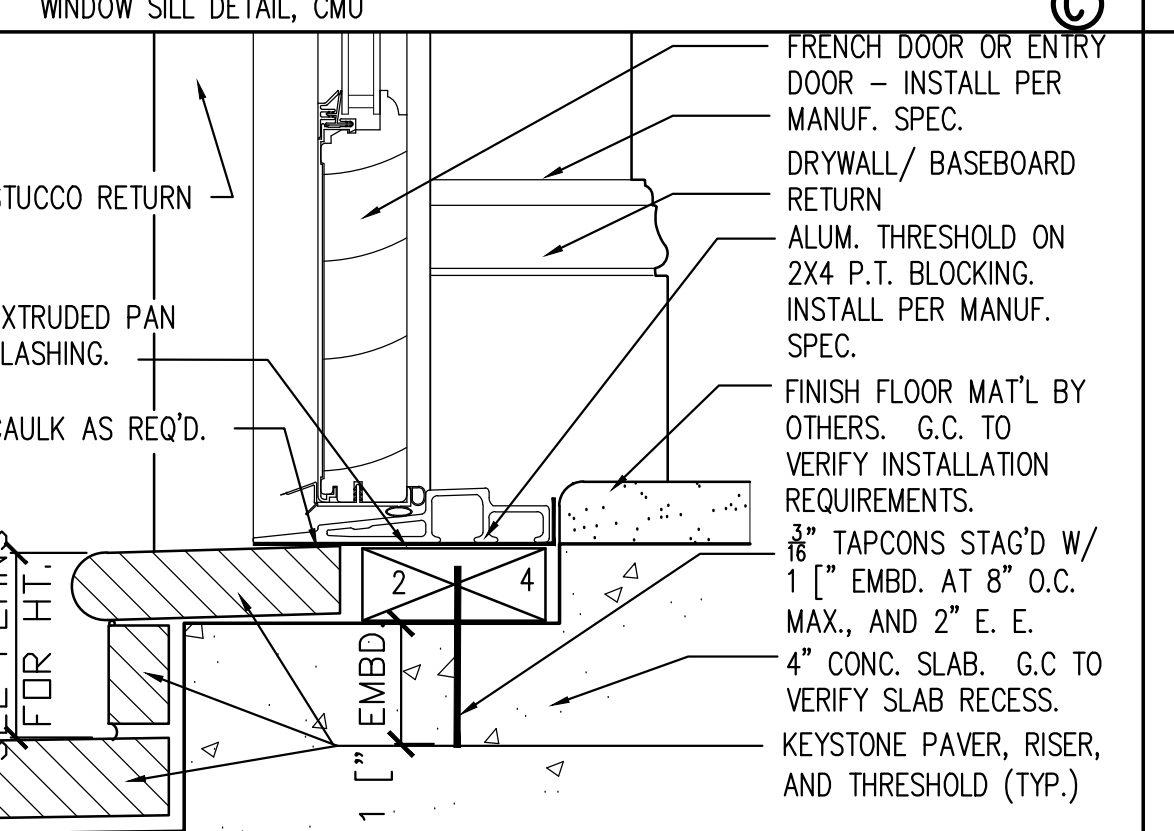
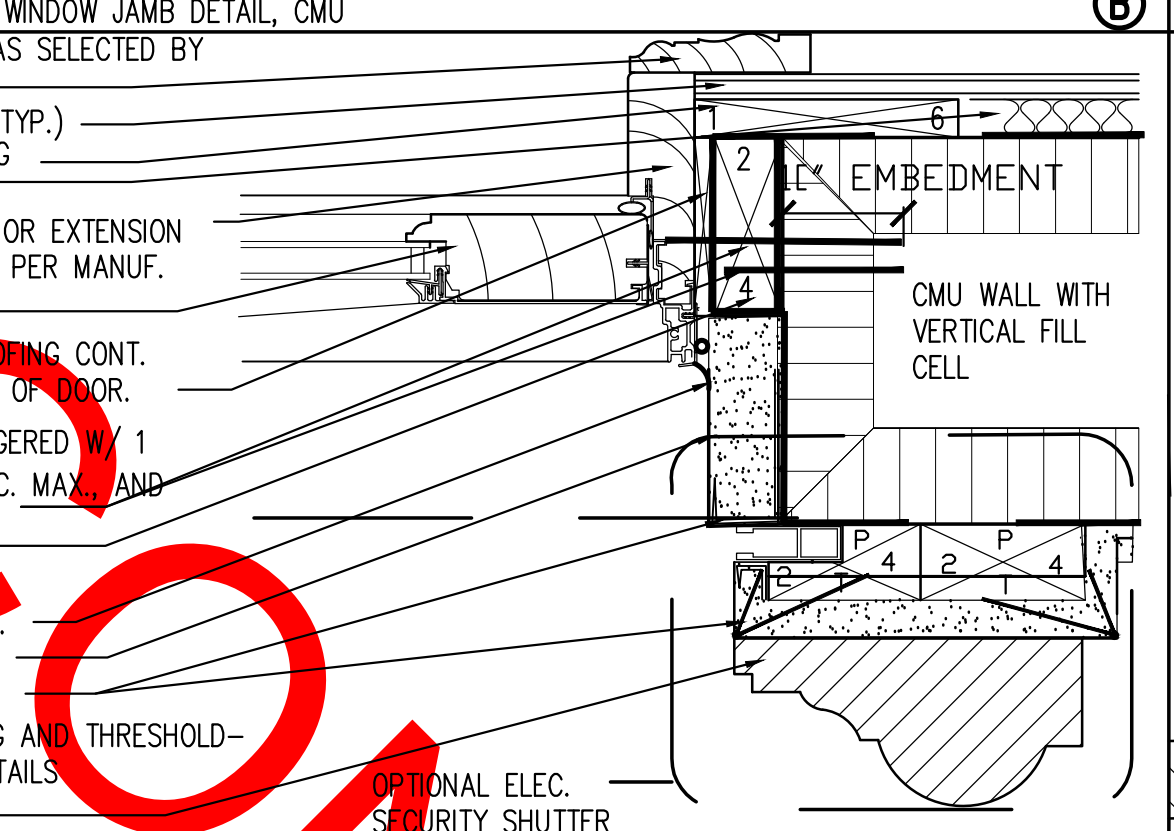
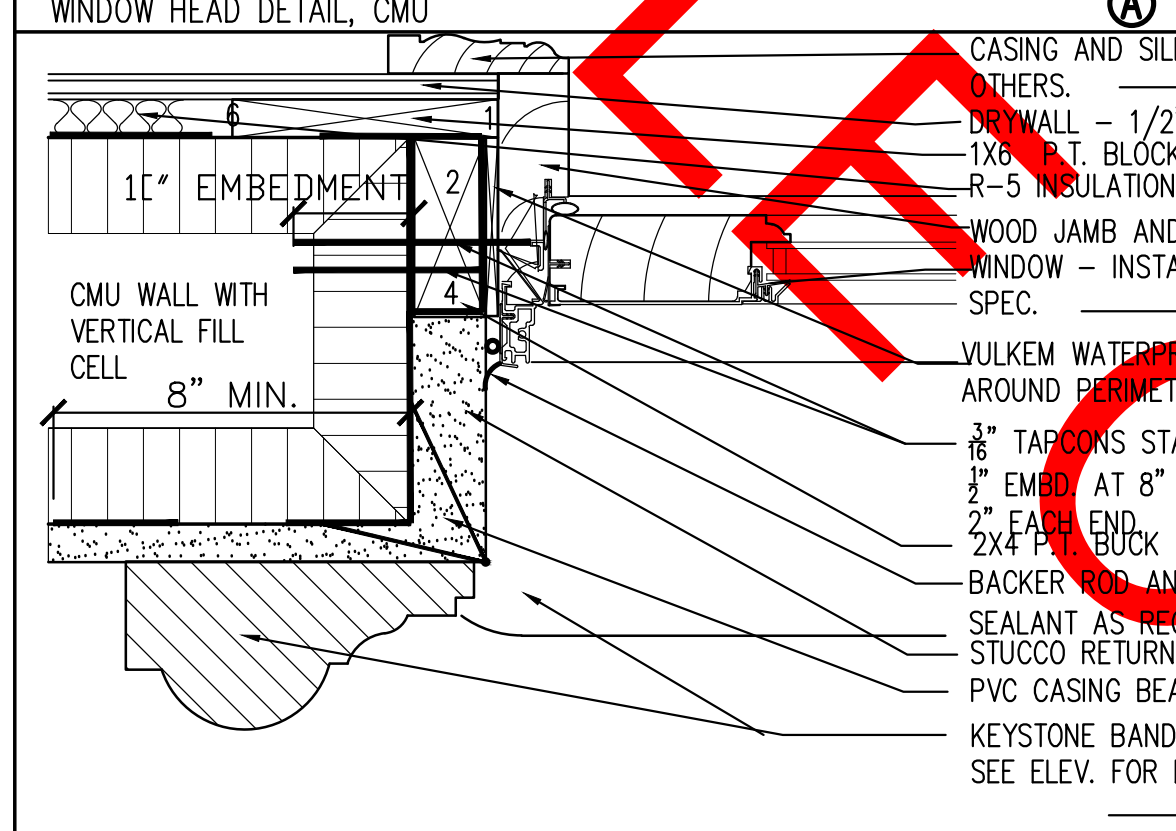
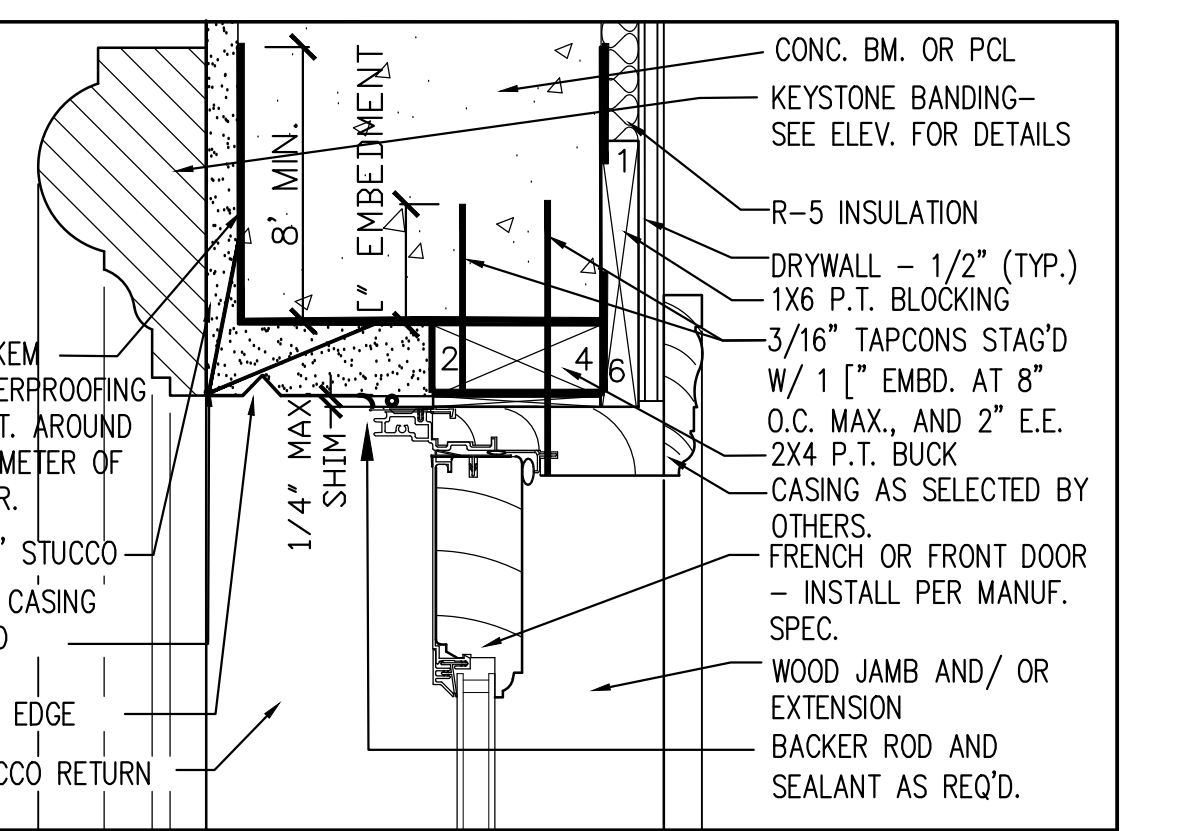
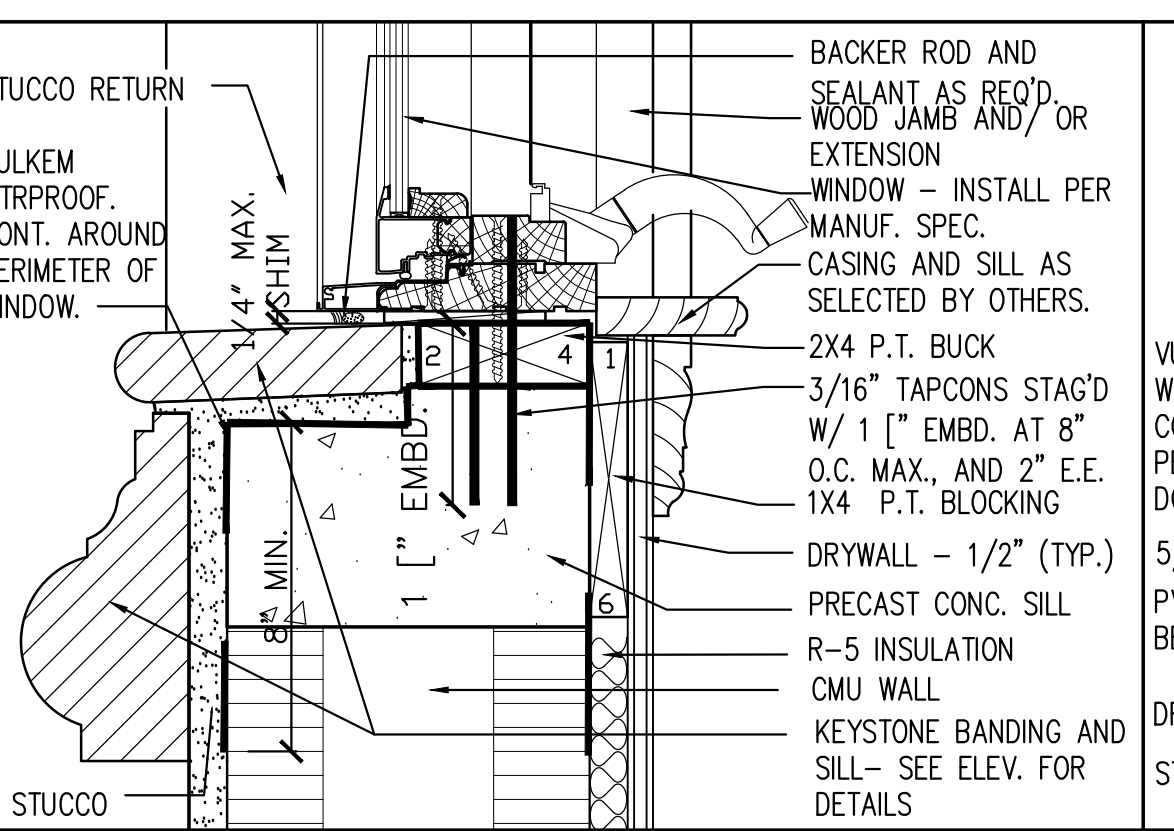
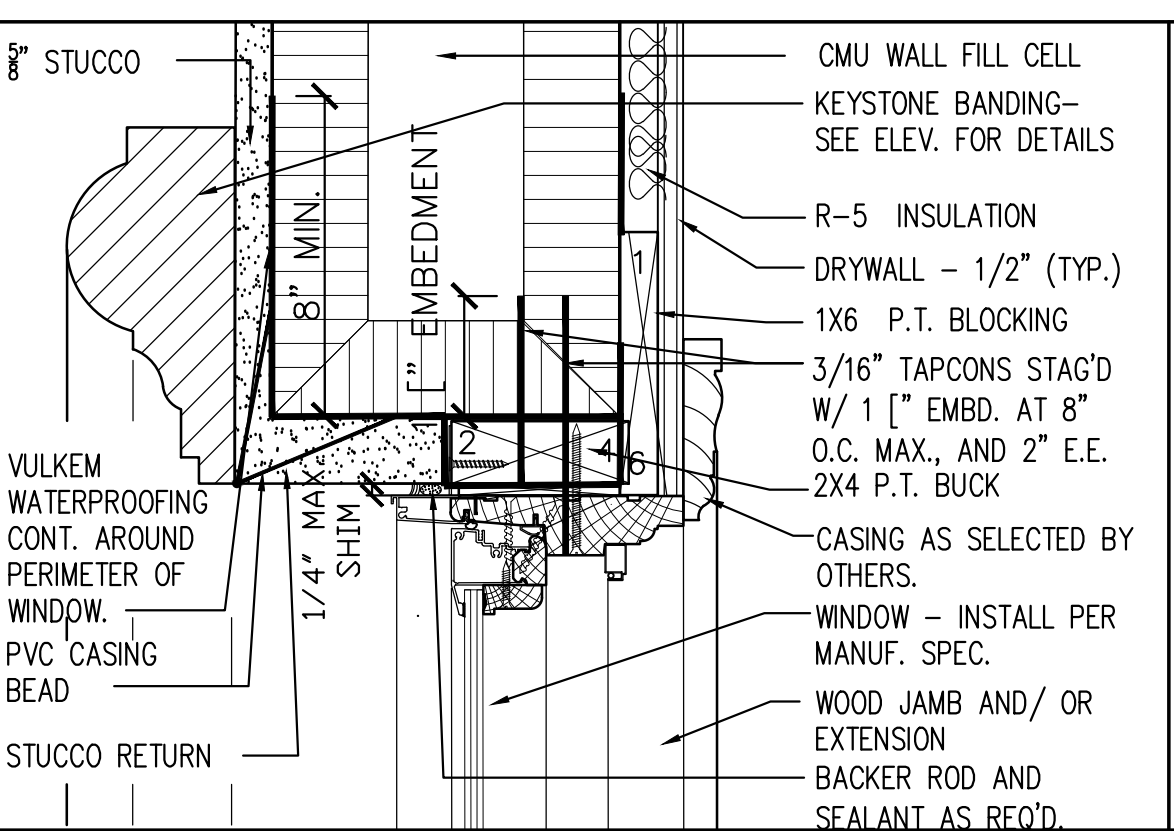
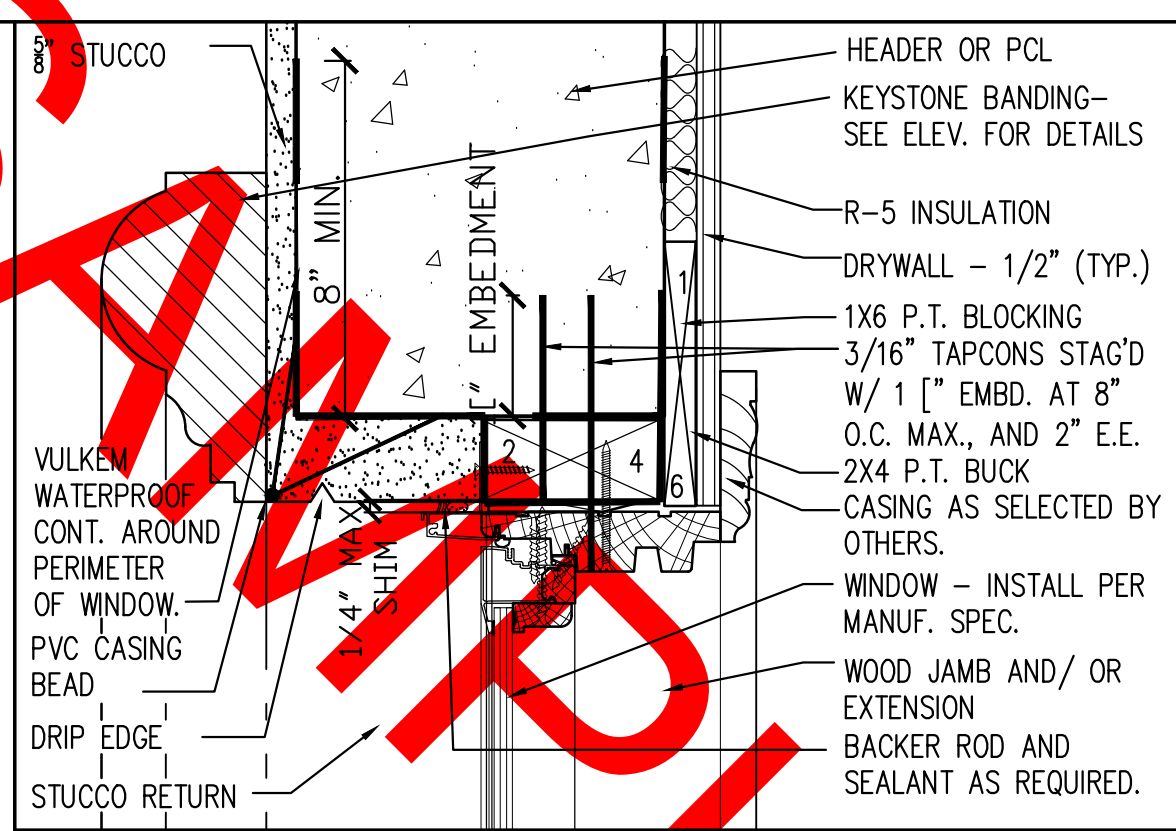
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FASTENER REQUIREMENTS:

FASTENERS: TABLE 2306.1
 Band joist to sill or top PLATE toe nail - 8d at 6 in. o.c. Joist to band joist, face nail - 16d common - (3). Joist to sill or girder, toe nail - 8d common - (3). Bridging to joist, toe nail each end - 8d common - (2). Ledger strip - 16d common - (3) at each joist. 1x6 or less sub floor to each joist, face nail - 8d common - (2). Over 1x6 sub floor to each joist, face nail - 8d common - (3). 2-inch sub floor to joist or girder, blind and face nail - 16d common - (2). Sole plate to joist or blocking, face nail - 16d common - 16 in. o.c. Top or sole plate to stud, end nail - 16d common - (2). Stud to sole plate, toe nail - 8d common - (4). Doubled studs, face nail - 10d common - 24 in. o.c. Doubled top plates, face nail - 10d common - 16 in. o.c. Top plates, lap and intersections face nail - (2)-16d or (3)-10d common. Continuous header, two pieces - 16d common - 16 in. o.c. along each edge. Ceiling joists to plate, toe nail - 8d common - (3). Continuous header to stud, toe nail - 8d common - (3). Ceiling joists, laps over partitions, face nail - (3) 16d or (4) 10d common. Ceiling joists to parallel rafters, face nail - (3) 16d or (4) 10d common. Rafter to plate, toe nail - 8d common - (3). 1-inch brace to each stud and plate, face nail - 8d common - (2). 1x8 or less sheathing to each bearing, face nail - 8d common - (2). Over 1x8 sheathing to each bearing, face nail - 8d common - (3). Built-up corner studs - 16d common - 24 in. o.c. Built-up girders and beams, of three members - 20d common - 32 in. o.c. at top and bottom and staggered at each end and at each splice. 2-inch planks - 16d common - (2) each bearing. Studs to sole plate, end nail - 16d common - (2) each end. Wood Structural Panel Sub flooring {#7} 15/32 in., 1/2 in., 7/16 in. - 6d common, annular or spiral thread - 6 in. o.c. edges and 12 in. o.c. intermediate. 19/32 in.-3/4 in. - 8d common or 6d annular or spiral thread - 6 in. o.c. edges and 12 in. o.c. intermediate. 1 in., 1 1/8 in. - 10d common or 8d annular or spiral thread - 6 in. o.c. edges and 6 in. o.c. intermediate {#9}. 15/32 in., 1/2 in., 7/16 in. - 16 ga galvanized wire staples, 3/8 in. min. crown 1 5/8 in. length - 4 in. o.c. edges and 7 in. o.c. intermediate. 19/32 in., 5/8 in. - 16 ga galvanized wire staples, 3/8 in. min. crown 1 5/8 in. length - 2 1/2 in. o.c. edges and 4 in. o.c. intermediate. Wood Structural Panel Roof & Wall Sheathing and Particleboard Wall Sheathing 1/2 in. or less - 6d common (wall), 8d common (roof) - 6 in. o.c. edges 12 in. o.c. intermediate. 19/32 in. or greater - 8d common - 6 in. o.c. edges and 12 in. o.c. intermediate. 5/16 in. - 1/2 in. - 16 ga galvanized wire staples, 3/8 in. min. crown (length of 1 in. plus wood structural panel or particleboard thickness) - 4 in. o.c. edges and 8 in. o.c. intermediate. 19/32 in., 3/4 in. - 16 ga galvanized wire staples, 3/8 in. min. crown (length of 1 in. plus wood structural panel or particleboard thickness) - 2 in. o.c. edges 5 in. o.c. intermediate. Fiberboard Sheathing {#1} 1/2 in. Regular - 6d common nail or 11 ga. galv. roofing nail 1 1/2 in. long with 7/16 in. head - 6 in. o.c. at edges, 12 in. o.c. at other bearing areas. 1/2 in. Structural - 8d common nail or 11 ga. galv. roofing nail 1 1/2 in. long with 7/16 in. head - 3 in. o.c. at edges, 6 in. o.c. at other bearing areas. 25/32 in. Structural - 8d common nail or 11 ga. galv. roofing nail 1 3/4 in. long with 7/16 in. head - 3 in. o.c. at edges, 6 in. o.c. at other bearing areas. Gypsum Sheathing 1/2 in. - 11 ga 1 1/2 in. galvanized 7/16 in. head - 4 in. o.c. at edges, 8 in. o.c. at other bearings. 5/8 in. - 11 ga 1 3/4 in. galvanized 7/16 in. head - 4 in. o.c. at edges, 8 in. o.c. at other bearings. Gypsum Wallboard 1/2 in. - 1 3/8 in. drywall nail {#2} - 7 in. o.c. on ceilings, 8 in. o.c. on walls. 5/8 in. - 1 1/2 in. drywall nail {#2} - 7 in. o.c. on ceilings, 8 in. o.c. on walls. Particleboard Siding: 5/16 in., 1/2 in. {#3} - 6d {#4}. 5/8 in. {#5} - 8d {#4}. 3/4 in. {#6} - 8d {#4}. Hardboard Lap Siding Direct to studs {#5} - 8d {#8} corrosion-resistant with min. shank diameter of 0.099 in. and min. head diameter of 0.240 in. - 16 in. o.c. at top and bottom edges. Hardboard Lap Siding Over Sheathing - 10d {#6} corrosion resistant with min. shank diameter of 0.099 in. and min. head diameter of 0.240 in. - 16 in. o.c. at top and bottom edges. Hardboard Panel Siding Direct to Studs - 6d {#6} corrosion-resistant with min. shank diameter of 0.092 in. and min. head diameter of 0.225 in. - 6 in. o.c. at edges and 12 in. o.c. at intermediate supports. Hardboard Panel Siding Over Sheathing - 8d {#6} corrosion resistant with min. shank diameter of 0.092 in. and min. head diameter of 0.225 in. - 6 in. o.c. at edges and 12 in. o.c. at intermediate supports.

Notes:
 1. Fiberboard sheathing may be stapled using 16 ga galvanized staples 1 1/8" long for 1/2" sheathing and 1 1/2" long for 25/32" sheathing. Staples to have minimum crown of 7/16" and spaced 3" o.c. at edges and 6" o.c. at other bearings.
 2. Drywall nails shall conform to ASTM C 514.
 3. Siding applied to 5/8" net wood sheathing, 15/32" wood structural panel or 1/2" particleboard sheathing.
 4. Corrosion-resistant nails spaced 6" on center at edge and 8" on center at intermediate supports. Nails shall have a minimum edge distance of 3/8".
 5. Siding applied to studs spaced 16" on center maximum.
 6. Siding applied directly to studs spaced 24" on center maximum.
 7. Use annular or spiral thread nails for combination subfloor/underlayment (single floor).
 8. Nail must be of sufficient length to accommodate thickness of siding and sheathing, if used, and allow minimum stud penetration of 1 1/2 inches.
 9. For 1-inch wood structural panels, 12" on center intermediate nailing shall be



FASTENER REQUIREMENTS:

CONSTRUCTION PLAN

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